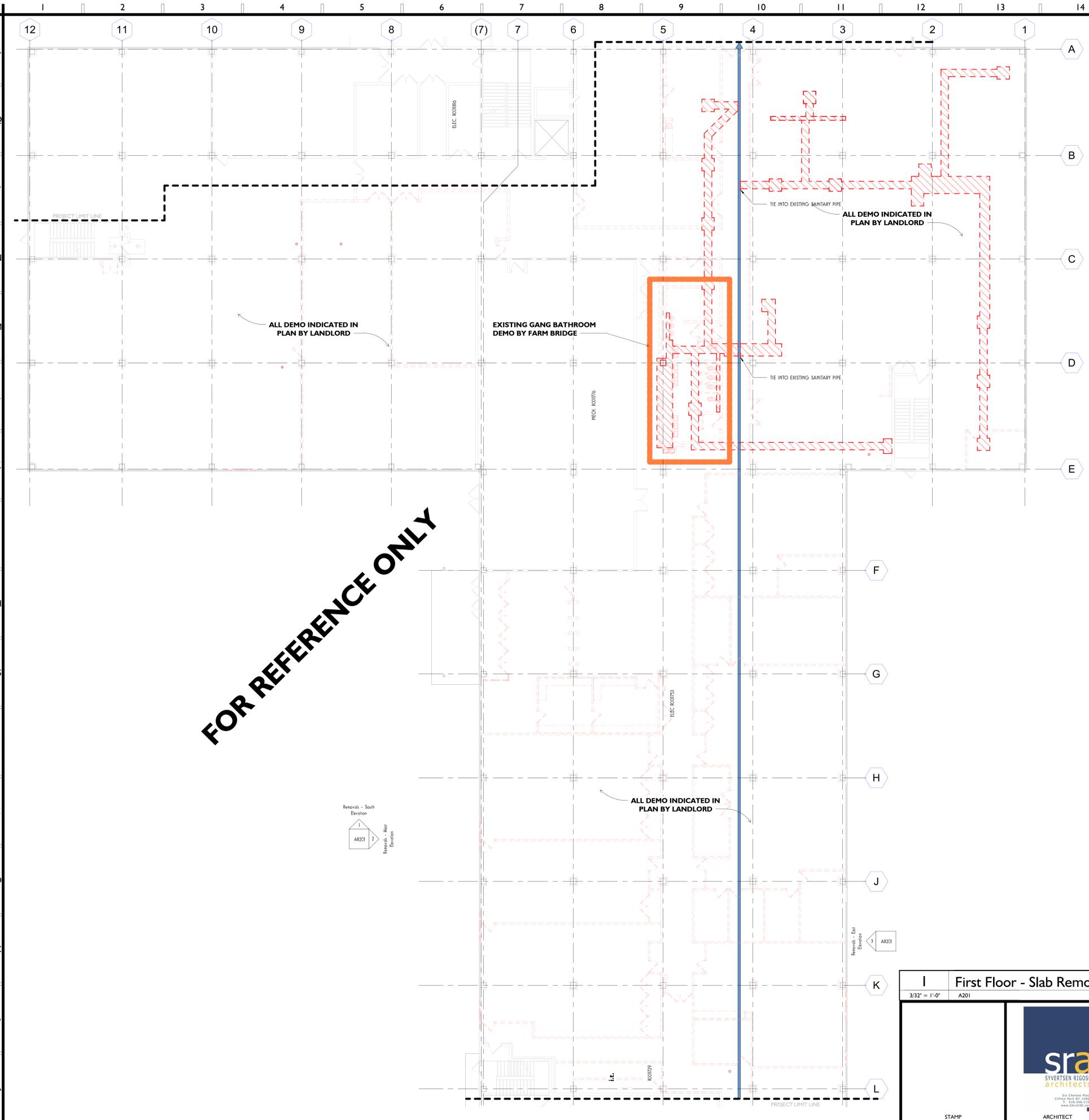


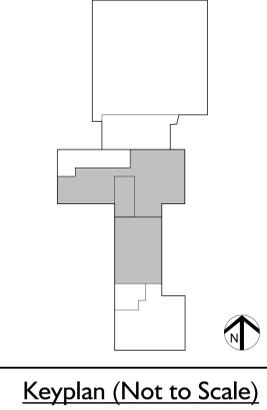
5/17/2021 13:45:55 PM



### Removals Legend

	REMOVE EXISTING WALL COMPLETE		REMOVE REFER TO REMOVE LEGEND) COMPLETE
	REMOVE EXISTING WINDOW SEE REMOVAL ELEVATIONS FOR MORE INFO. COMPLETE		REMOVE WALL TYPE (SEE A201) COMPLETE
	REMOVE EXISTING DOOR, FRAME, AND ACCESSORIES COMPLETE		REMOVE EXISTING FLOOR OR ROOF AREA COMPLETE
	REMOVE EXISTING SINK AND ACCESSORIES COMPLETE (MIRROR, SOAP DISPENSER, ETC.) COMPLETE		REMOVE EXISTING MOP SINK AND ACCESSORIES COMPLETE
	REMOVE EXISTING SINK AND ACCESSORIES COMPLETE		REMOVE EXISTING DRINKING FOUNTAIN AND ACCESSORIES COMPLETE
	REMOVE EXISTING TOILET AND ACCESSORIES COMPLETE		
	REMOVE EXISTING URINAL AND ACCESSORIES COMPLETE		

- ### General Demolition Notes
- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS PRIOR TO PERFORMING ANY WORK IN QUESTION.
  - ALL DEMOLITION WORK SHALL BE DONE NEATLY AND WITHOUT DAMAGE TO REMAINING CONSTRUCTION. THE AREA SHALL BE CLEAR OF ALL DEBRIS, FLOOR COVERING AND RESIDUAL ADHESIVE, MORTAR, ETC. AND LEFT CLEAR.
  - THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION ITEMS TO REMAIN DURING DEMOLITION. NOTIFY ARCHITECT/BUILDING MANAGEMENT IF ANY ITEMS ARE DAMAGED.
  - WHERE WORK CONNECTS WITH EXISTING, THE CONTRACTOR SHALL DO NECESSARY CUTTING, FITTING AND PATCHING. HE SHALL FURNISH ALL NECESSARY LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK AND PROTECT ALL EXISTING WORK FROM DAMAGE.
  - PROVIDE TRASH REMOVAL AND DUMPSTER CONTAINER FOR DEMOLITION DEBRIS ONLY. REMOVE ALL DEBRIS FROM BUILDING DAILY. COORDINATE TRASH PROCEDURES AND SCHEDULING WITH BUILDING MANAGEMENT.
  - THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF BASE BLDG. FIRE RESISTANCE RATING, REGARDLESS OF INTERIOR BUILD-OUT REQUIREMENTS, I.E. DEMISING WALLS, SHAFT ENCLOSURES, COLUMN SPACE PROTECTION, FLOOR/CEILING ASSEMBLIES, ROOF/CEILING ASSEMBLIES.
  - REMOVE ABANDONED SYSTEMS (CABLING, CONTROLS, MOUNTING DEVICES, ETC.) REMOVE ELECTRIC TO J. BOX OR ELECTRICAL PANEL. SUSPEND DUCT WORK, RE-USED WIRING, AND ELECTRIC LIGHTS FROM STRUCTURE FOR POSSIBLE RE-USE. IN ACCORDANCE WITH CURRENT CODES, ANY WIRING NOT DESIGNATED FOR RE-USE IS TO BE REMOVED BY THE GENERAL CONTRACTOR OR THE RISK SYSTEMS INSTALLER. ALL SALVAGED MATERIALS ARE TO REMAIN THE PROPERTY OF THE BUILDING OWNER.
  - PROVIDE DUST SCREENS WHERE DEMOLITION REQUIRES CONSTRUCTION TO BE EXPOSED TO NORMAL OPERATIONS OF THE FACILITY.
  - REMOVE ALL EXISTING PIPING, WIRING, HARDWARE, ETC THAT IS MADE OBSOLETE CONSTRUCTION.
  - RELOCATE AND RECONFIGURE EXISTING HEADS OF SPRINKLER SYSTEM AS NEEDED FOR NEW LAYOUT AND CODE COMPLIANCE.



- ### General Removal Notes - Dust Control
- THE CONTRACTOR SHALL IMPLEMENT WORK PRACTICES AND CONTROLS THAT PROTECT BUILDING OCCUPANTS AND VISITORS FROM EXPOSURES TO DUSTS AND FUMES GENERATED FROM DEMOLITION AND OTHER ACTIVITIES, AND THAT PREVENT ACCUMULATION OF SURFACE DUST OUTSIDE OF THE WORK AREAS. THE CONTRACTOR SHALL UTILIZE APPROPRIATE DUST CONTROLS DURING DEMOLITION TO REDUCE AIRBORNE DUST, INCLUDING WET METHODS AND THE USE OF HEPA-FILTERED VENTILATION AS NEEDED TO MAINTAIN THE WORK AREA UNDER NEGATIVE PRESSURE. HEPA-FILTERED VENTILATION SHALL BE EXHAUSTED TO THE BUILDING EXTERIOR. NEGATIVE PRESSURE SHALL BE VERIFIED AND DOCUMENTED AT LEAST TWICE DAILY BY THE CONTRACTOR USING AIR CURRENT TUBES.

- ### General Removal Notes - Lead Paint
- WORK ON THIS PROJECT MAY INVOLVE THE DISTURBANCE OF LEAD-CONTAINING PAINT. CONTRACTOR SHALL PRESUME THAT ANY PAINTED SURFACE CONTAINS LEAD. DISTURBANCE OF ANY PAINTED SURFACE TRIGGERS THE REQUIREMENTS BELOW:
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS INCLUDING BUT NOT LIMITED TO 29 CFR 1926.62 LEAD IN CONSTRUCTION. THIS REQUIREMENT INCLUDES COMPLETION OF LEAD AWARENESS TRAINING AND NEGATIVE EXPOSURE ASSESSMENTS AS NECESSARY FOR TASKS WHERE EXPOSURE MAY EXIST. OSHA REGULATIONS APPLY TO MATERIALS CONTAINING ANY DETECTABLE CONCENTRATION OF LEAD.
  - WORK AREA SURFACES THAT MAY BE EXPOSED TO AND CONTAMINATED WITH LEAD-CONTAINING DUSTS AND FUMES SHALL BE CLEANED OF VISIBLE DUST AND DEBRIS AT THE CONCLUSION OF DEMOLITION TASKS USING WET CLEANING METHODS.

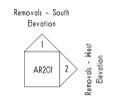
- ### General Removal Notes - Silica Requirements
- OPERATIONS INVOLVING CUTTING, DRILLING OR DEMOLITION OF CONCRETE CAN GENERATE EXPOSURE OF REPAIRABLE SILICA DUST. ENGINEERING CONTROLS AND WORK METHODS SHALL BE IN PLACE TO MINIMIZE POTENTIAL EXPOSURES.
- THE CONTRACTOR SHALL IMPLEMENT WORK PRACTICES AND CONTROLS THAT PROTECT BUILDING OCCUPANTS AND VISITORS FROM EXPOSURES TO SILICA DUSTS GENERATED FROM PROJECT ACTIVITIES, AND THAT PREVENT SURFACE CONTAMINATION OUTSIDE OF THE WORK AREAS. THE CONTRACTOR SHALL UTILIZE APPROPRIATE DUST CONTROLS DURING DEMOLITION TO REDUCE AIRBORNE DUST INCLUDING WET METHODS AND THE USE OF HEPA-FILTERED LOCAL VENTILATION AS NEEDED TO MAINTAIN THE WORK AREA UNDER NEGATIVE PRESSURE. HEPA-FILTERED VENTILATION SHALL BE EXHAUSTED TO THE BUILDING EXTERIOR. NEGATIVE PRESSURE SHALL BE VERIFIED AND DOCUMENTED AT LEAST TWICE DAILY BY THE CONTRACTOR USING AIR CURRENT TUBES.
- FOR HIGH DUST ACTIVITIES SUCH AS SANDING, CONTRACTOR SHALL USE WET METHODS AND/OR TOOL EQUIPPED LOCAL EXHAUST TO SUPPRESS DUST AT THE SOURCE.

- ### General Asbestos Notes
- PRIOR TO REMOVALS, REFER TO THE SEPTEMBER 22<sup>ND</sup>, 2020 ASBESTOS BULK SAMPLE ANALYSIS REPORT BY PARADIGM ENVIRONMENTAL, LLC.
  - PERFORM ALL WORK IN ACCORDANCE ALL APPLICABLE LOCAL, STATE, AND FEDERAL RULES, REGULATIONS, AND GUIDELINES, VARIANCES AND THE CONTRACT DOCUMENTS.
  - ALL MATERIAL MEASUREMENTS AND/OR QUANTITIES AND LOCATIONS ARE APPROXIMATE. FIELD VERIFY AT THE SITE PRIOR TO BIDDING.
  - THE PROVISIONS OF ANY SITE-SPECIFIC VARIANCE(S) OBTAINED BY THE CONTRACTOR MAY NOT BE IMPLEMENTED UNTIL APPROVAL IS GIVEN BY OWNER OR OWNER'S REPRESENTATIVE.
  - COORDINATE THE LOCATION OF ANY SITE STORAGE MATERIAL, EQUIPMENT, AND WASTE TRAILER/DUMPSTER WITH THE OWNER OR OWNER'S REPRESENTATIVE.
  - CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL TOOLS, EQUIPMENT, AND SUPPLIES. THE OWNER OR OWNER'S REPRESENTATIVE WILL NOT BE LIABLE THEFT OR DAMAGE.
  - CONTRACTOR IS RESPONSIBLE FOR KEEPING THE WORK AREA IN A CLEAN AND SAFE CONDITION. CONTRACTOR SHALL ENSURE THAT UNIDENTIFIED PERSONNEL OR UNAUTHORIZED VISITORS DO NOT ENTER ACTIVE WORK AREAS AT ANY TIME.
  - CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION TO KEEP THE WORK AREAS AND BUILDING IN A SECURE AND WATER-TIGHT CONDITION AT ALL TIMES DURING THE PERFORMANCE OF THE CONTRACT WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO ANY AREAS OF THE BUILDINGS AS A RESULT OF IMPROPER TEMPORARY PROTECTION.
  - ALL WORK STAGING, AND ACCESS SHALL BE COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE.
  - IF ADDITIONAL ASBESTOS, PCBs, OR OTHER SUSPECT MATERIALS ARE DISCOVERED AND/OR DISTURBED, CEASE OPERATIONS AND IMMEDIATELY NOTIFY OWNER OR OWNER'S REPRESENTATIVE.

### Removals Keynote Legend

Discipline	Keynote #	Description
R	01	REMOVE EXISTING FINISH FLOOR DOWN TO CONCRETE SLAB
R	02	REMOVE ALL STOREFRONT GLAZING AND MILLIONS FOR THE EXTENT SHOWN.
R	03	REMOVE EXISTING SUSPENDED CEILING AND ASSOCIATED ELECTRICAL FIXTURES.
R	04	REMOVE EXISTING DOOR AND FRAME.
R	05	REMOVE EXISTING PLUMBING FIXTURES.
R	06	REMOVE EXISTING FLOOR MOUNTED SECURITY EQUIPMENT, COMPLETE.
R	07	REMOVE EXISTING ELECTRICAL CLOSET.
R	10	REMOVE ALL COUNTERTOPS AND ASSOCIATED CASHWORK.
R	15	SALVAGE AND REUSE EXISTING FIRE EXTINGUISHER CABINET.

FOR REFERENCE ONLY



**I First Floor - Slab Removal Plan**

3/32" = 1'-0"

AR201

Revision Schedule

#	Description	Date

ITEMS DELINEATED IN THIS SET OF PLANS ARE PROPRIETARY OF SVERTSEN RIGOSU ARCHITECTS, PLLC (SRA). UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF SUCH CONSTRUCTION OR BUILDING BEING SEIZED AND RAZED.

SCALE As Indicated

DRAWN BY II

ISSUED FOR REVIEW DATE 05.05.2021

907 20 002

**Slab and Elevation Removals**

SHEET TITLE

AR100

SHEET NUMBER

© 2021 SVERTSEN RIGOSU ARCHITECTS, PLLC (SRA)

**The Farm Bridge**

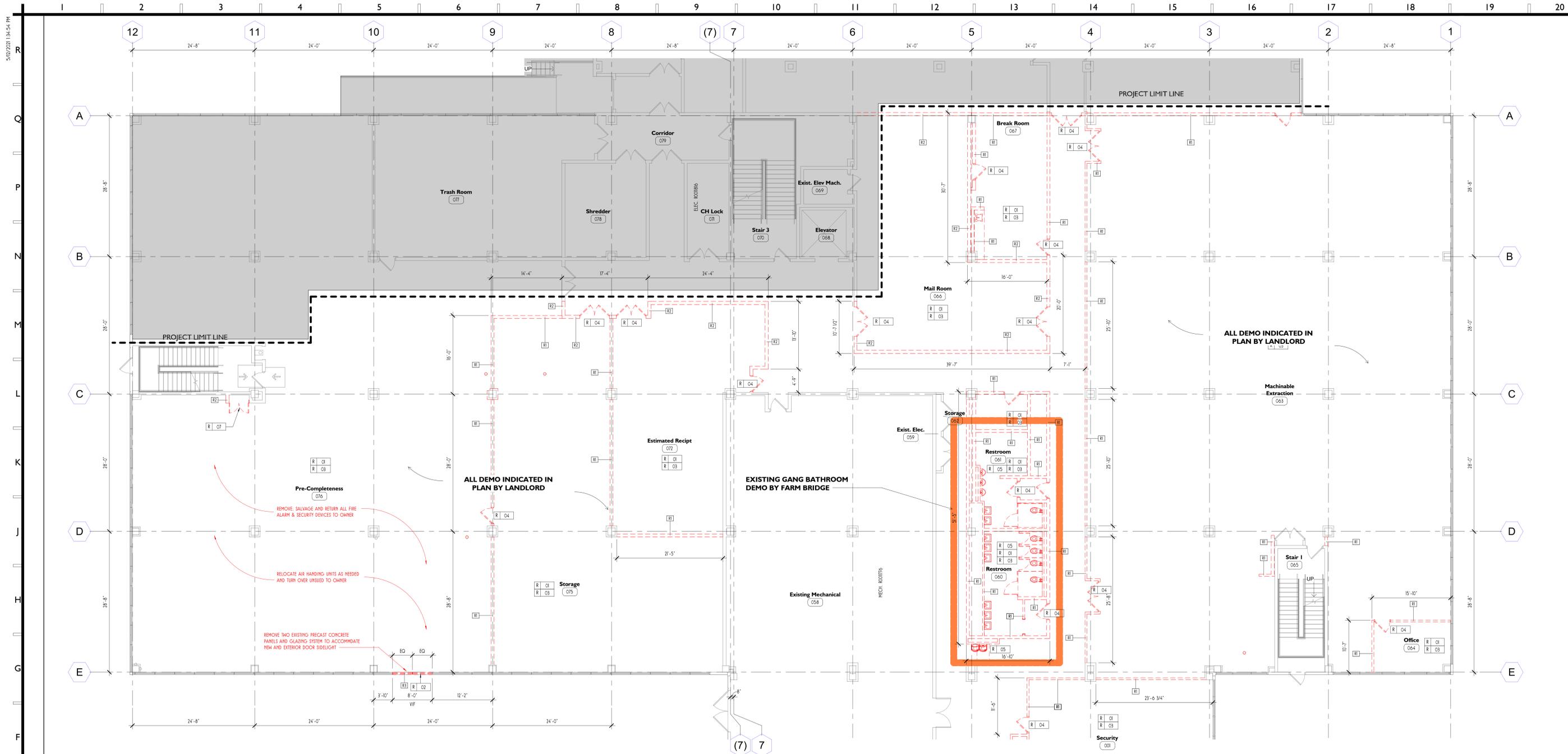
The Farm Bridge Tenant Fit Up

101 Enterprise Drive, Building 201  
Kingston, NY 12401

PROJECT INFORMATION

ARCHITECT

C:\Users\lrcorcoll\Documents\2021\Farm Bridge II - Rev\9072021.rvt



**I First Floor Removal Plan - Partial North**  
 1/8" = 1'-0" A201

**General Demolition Notes**

D1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS PRIOR TO PERFORMING ANY WORK IN QUESTION.

D2. ALL DEMOLITION WORK SHALL BE DONE NEATLY AND WITHOUT DAMAGE TO REMAINING CONSTRUCTION. THE AREA SHALL BE CLEAR OF ALL DEBRIS, FLOOR COVERING AND RESIDUAL ADHESIVE, MORTAR BED, ETC. AND LEFT CLEAN.

D3. THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION ITEMS TO REMAIN DURING DEMOLITION. NOTIFY ARCHITECT/BUILDING MANAGEMENT IF ANY ITEMS ARE DAMAGED.

D4. WHERE WORK CONNECTS WITH EXISTING, THE CONTRACTOR SHALL DO NECESSARY CUTTING, FITTING AND PATCHING. HE SHALL FURNISH ALL NECESSARY LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK AND PROTECT ALL EXISTING WORK FROM DAMAGE.

D5. PROVIDE TRASH REMOVAL AND DUMPSTER CONTAINER FOR DEMOLITION DEBRIS ONLY. REMOVE ALL DEBRIS FROM BUILDING DAILY. COORDINATE EXACT PROCEDURES AND STAGING WITH BUILDING MANAGEMENT.

D6. THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF BASE BLDG. FIRE RESISTANCE RATING, REGARDLESS OF INTERIOR BUILD-OUT REQUIREMENTS, I.E. DEMISING HALLS, SHAFT ENCLOSURES, COLUMN SPACE PROTECTION, FLOOR/CEILING ASSEMBLIES, ROOF/CEILING ASSEMBLIES.

D7. REMOVE ABANDONED SYSTEMS (CABLING, CONTROLS MOUNTING DEVICES, ETC.) REMOVE ELECTRIC TO 1 BOX OR ELECTRICAL PANEL, SUSPEND DUCT WORK, RE-USED WIRING, AND ELECTRIC LIGHTS FROM STRUCTURE FOR POSSIBLE RE-USE. IN ACCORDANCE WITH CURRENT CODES, ANY WIRING NOT DESIGNATED FOR RE-USE IS TO BE REMOVED BY THE GENERAL CONTRACTOR OR THE NEB SYSTEMS INSTALLER. ALL SALVAGED MATERIALS ARE TO REMAIN THE PROPERTY OF THE BUILDING OWNER.

D8. PROVIDE DUST SCREENS WHERE DEMOLITION REQUIRES CONSTRUCTION TO BE EXPOSED TO NORMAL OPERATIONS OF THE FACILITY.

D9. REMOVE ALL EXISTING PIPING, WIRING, HARDWARE, ETC. THAT IS MADE OBSOLETE CONSTRUCTION.

D10. RELOCATE AND RECONFIGURE EXISTING HEADS OF SPRINKLER SYSTEM AS NEEDED FOR NEW LAUIT AND CODE COMPLIANCE.

**General Asbestos Notes**

A. PRIOR TO REMOVALS, REFER TO THE SEPTEMBER 22<sup>ND</sup>, 2020 ASBESTOS BULK SAMPLE ANALYSIS REPORT BY PARADIGM ENVIRONMENTAL, LLC.

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C. ALL MATERIAL MEASUREMENTS AND/OR QUANTITIES AND LOCATIONS ARE APPROXIMATE. FIELD VERIFY AT THE SITE PRIOR TO BIDDING.

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F. CONTRACTOR IS RESPONSIBLE FOR ALL TOOLS, EQUIPMENT, AND SUPPLIES. THE OWNER OR OWNER'S REPRESENTATIVE WILL NOT BE LIABLE THEREOF OR DAMAGE.

G. CONTRACTOR IS RESPONSIBLE FOR KEEPING THE WORK AREA IN A CLEAN AND SAFE CONDITION. CONTRACTOR SHALL ENSURE THAT UNCERTIFIED PERSONNEL OR UNAUTHORIZED VISITORS DO NOT ENTER ACTIVE WORK AREAS AT ANY TIME.

H. CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION TO KEEP THE WORK AREAS AND BUILDING IN A SECURE AND WATER-TIGHT CONDITION AT ALL TIMES DURING THE PERFORMANCE OF THE CONTRACT WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO ANY AREAS OF THE BUILDINGS AS A RESULT OF IMPROPER TEMPORARY PROTECTION.

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J. IF ADDITIONAL ASBESTOS, PCBs, OR OTHER SUSPECT MATERIALS ARE DISCOVERED AND/OR DISTURBED, CEASE OPERATIONS AND IMMEDIATELY NOTIFY OWNER OR OWNER'S REPRESENTATIVE.

**General Removal Notes - Dust Control**

THE CONTRACTOR SHALL IMPLEMENT WORK PRACTICES AND CONTROLS THAT PROTECT BUILDING OCCUPANTS AND VISITORS FROM EXPOSURE TO DUSTS AND FUMES GENERATED FROM DEMOLITION AND OTHER ACTIVITIES, AND THAT PREVENT ACCUMULATION OF VISIBLE SURFACE DUST OUTSIDE OF THE WORK AREAS. THE CONTRACTOR SHALL UTILIZE APPROPRIATE DUST CONTROLS DURING DEMOLITION TO REDUCE AIRBORNE DUST, INCLUDING WET METHODS AND THE USE OF HEPA-FILTERED VENTILATION AS NEEDED TO MAINTAIN THE WORK AREA UNDER NEGATIVE PRESSURE. HEPA-FILTERED VENTILATION SHALL BE EXHAUSTED TO THE BUILDING EXTERIOR. NEGATIVE PRESSURE SHALL BE VERIFIED AND DOCUMENTED AT LEAST TWICE DAILY BY THE CONTRACTOR USING AIR CURRENT TUBES.

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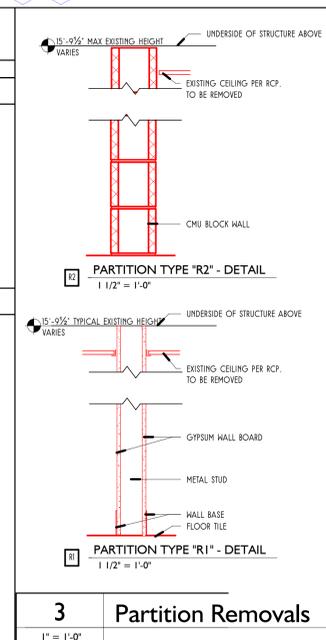
B. WORK AREA SURFACES THAT MAY BE EXPOSED TO AND CONTAMINATED WITH LEAD-CONTAINING DUSTS AND FUMES SHALL BE CLEANED OF VISIBLE DUST AND DEBRIS AT THE CONCLUSION OF DEMOLITION TASKS USING WET CLEANING METHODS.

**General Removal Notes - Silica Requirements**

OPERATIONS INVOLVING CUTTING, DRILLING OR DEMOLITION OF CONCRETE CAN GENERATE EXPOSURE OF REPAIRABLE SILICA DUST. ENGINEERING CONTROLS AND WORK METHODS SHALL BE IN PLACE TO MINIMIZE POTENTIAL EXPOSURES.

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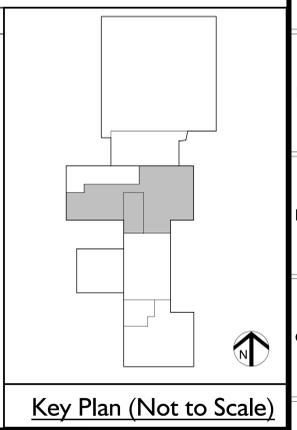
FOR HIGH DUST ACTIVITIES SUCH AS SAWING, CONTRACTOR SHALL USE WET METHODS AND OR TOOL EQUIPPED LOCAL EXHAUST TO SUPPRESS DUST AT THE SOURCE.



**3 Partition Removals**  
 1" = 1'-0"

Removals Keynote Legend		
Discipline	Keynote #	Description
R	01	REMOVE EXISTING FINISH FLOOR DOWN TO CONCRETE SLAB
R	02	REMOVE ALL STOREFRONT GLAZING AND MULLIONS FOR THE EXTENT SHOWN
R	03	REMOVE EXISTING SUSPENDED CEILING AND ASSOCIATED ELECTRICAL FIXTURES
R	04	REMOVE EXISTING DOOR AND FRAME
R	05	REMOVE EXISTING PLUMBING FIXTURES
R	06	REMOVE EXISTING FLOOR MOUNTED SECURITY EQUIPMENT, COMPLETE
R	07	REMOVE EXISTING ELECTRICAL CLOSET
R	10	REMOVE ALL COUNTERTOPS AND ASSOCIATED CASWORK
R	15	SALVAGE AND REUSE EXISTING FIRE EXTINGUISHER CABINET

Removals Legend			
	REMOVE EXISTING HALL COMPLETE		KEYNOTE (REFER TO KEYNOTE LEGEND) COMPLETE
	REMOVE EXISTING WINDOW, SEE REMOVAL ELEVATIONS FOR MORE INFO, COMPLETE		REMOVAL HALL TYPE (SEE A201) COMPLETE
	REMOVE EXISTING SUSPENDED CEILING AND ASSOCIATED ELECTRICAL FIXTURES		REMOVE EXISTING FLOOR OR ROOF AREA COMPLETE
	REMOVE EXISTING DOOR, FRAME, AND ACCESSORIES COMPLETE		REMOVE EXISTING MOP SINK AND ACCESSORIES COMPLETE
	REMOVE EXISTING SINK AND ACCESSORIES COMPLETE (MIRROR, SOAP DISPENSER, ETC.) COMPLETE		REMOVE EXISTING DRINKING FOUNTAIN AND ACCESSORIES COMPLETE
	REMOVE EXISTING SINK AND ACCESSORIES COMPLETE		
	REMOVE EXISTING TOILET AND ACCESSORIES COMPLETE		
	REMOVE EXISTING URINAL AND ACCESSORIES COMPLETE		



**Key Plan (Not to Scale)**

**Revision Schedule**

#	Description	Date
1	ISSUED FOR REVIEW	05.05.2021

SCALE: As Indicated  
 DRAWN BY: [Signature]

ITEMS DELINEATED IN THIS SET OF PLANS ARE PROPRIETARY OF SVYRTSEN RIGOSU ARCHITECTS, PLLC (SRA). UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF SUCH CONSTRUCTION OR BUILDING BEING SEIZED AND RAZED.

ARCHITECT: SVYRTSEN RIGOSU ARCHITECTS

**Project Information**

**The Farm Bridge**  
 The Farm Bridge Tenant Fit Up  
 101 Enterprise Drive, Building 201  
 Kingston, NY 12401

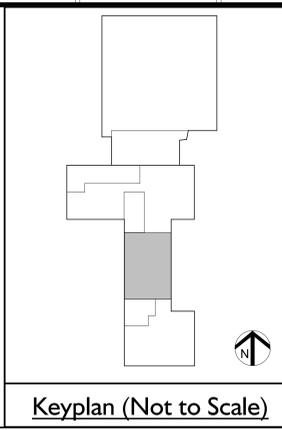
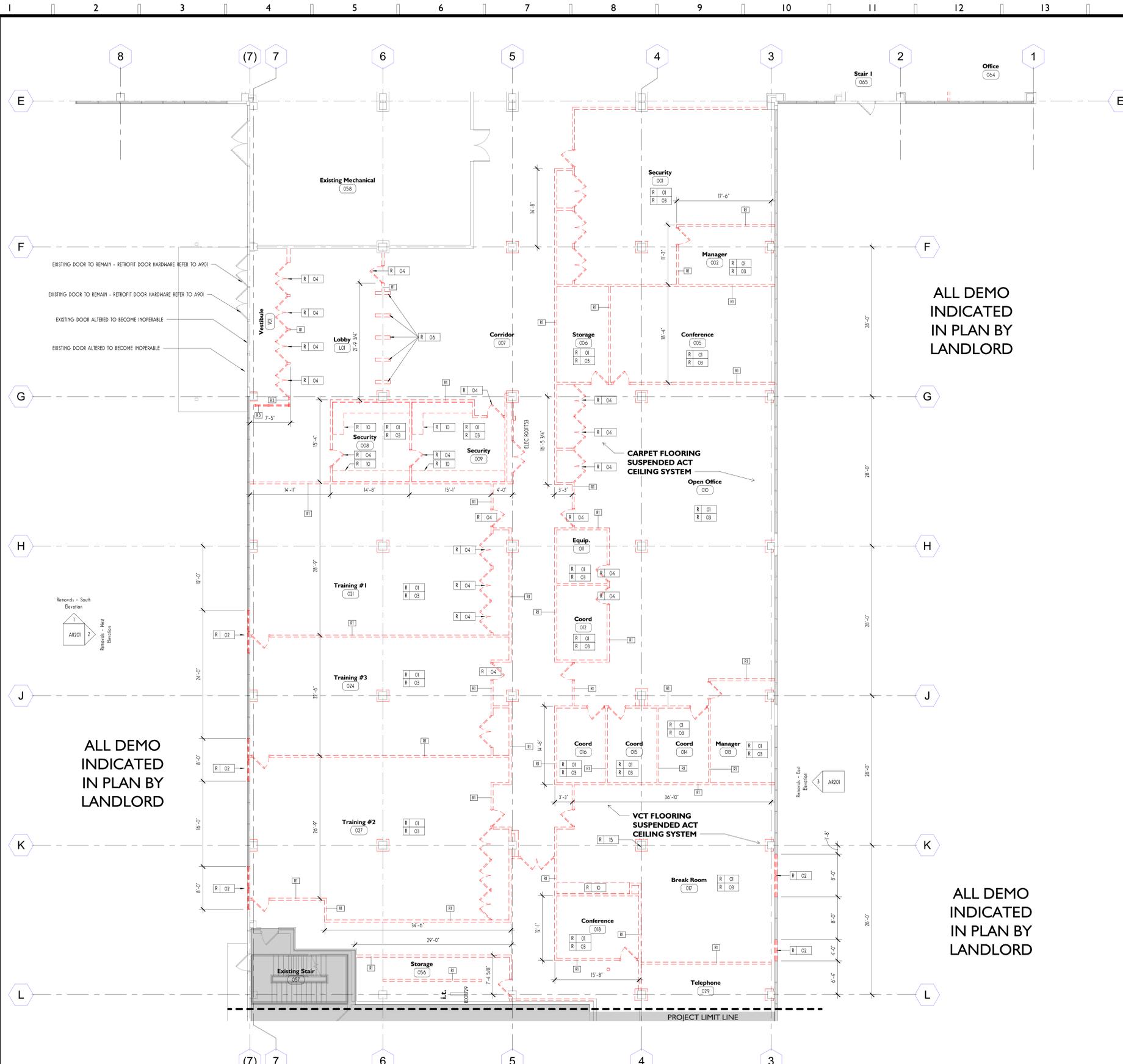
PROJECT INFORMATION  
 907 20 002

**First Floor Removals Plan - Partial North**

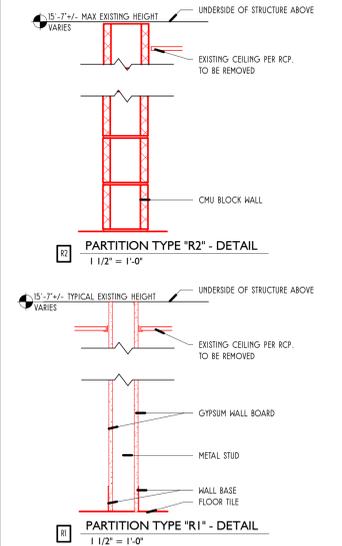
SHEET TITLE  
**ARI01**

SHEET NUMBER  
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EXISTING HEIGHTS TO BE VERIFIED BY CONTRACTOR  
 B.O. 2ND FLOOR CONC WAFFLE SLAB HIGH - 15'-9" +/-  
 B.O. 2ND FLOOR CONC WAFFLE SLAB LOW - 14'-8" +/-  
 B.O. CONC AT COLUMN GRID LINE - 13'-5" +/-



### 3 Partition Removals

1" = 1'-0"

Removals Legend	
	REMOVE EXISTING WALL COMPLETE
	REMOVE EXISTING WINDOW. SEE REMOVAL ELEVATIONS FOR MORE INFO. COMPLETE
	REMOVE EXISTING DOOR, FRAME AND ACCESSORIES COMPLETE
	REMOVE EXISTING SINK AND ACCESSORIES COMPLETE (MIRROR, SOAP DISPENSER, ETC.) COMPLETE
	REMOVE EXISTING TOILET AND ACCESSORIES COMPLETE
	REMOVE EXISTING URINAL AND ACCESSORIES COMPLETE
	KEYNOTE (REFER TO KEYNOTE LEGEND) COMPLETE
	REMOVAL WALL TYPE (SEE A201) COMPLETE
	REMOVE EXISTING FLOOR OR ROOF AREA COMPLETE
	REMOVE EXISTING MOP SINK AND ACCESSORIES COMPLETE
	REMOVE EXISTING DRINKING FOUNTAIN AND ACCESSORIES COMPLETE

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  - WORK AREA SURFACES THAT MAY BE EXPOSED TO AND CONTAMINATED WITH LEAD-CONTAINING DUSTS AND FUMES SHALL BE CLEANED OF VISIBLE DUST AND DEBRIS AT THE CONCLUSION OF DEMOLITION TASKS USING WET CLEANING METHODS.

- #### General Removal Notes - Silica Requirements
- OPERATIONS INVOLVING CUTTING, DRILLING OR DEMOLITION OF CONCRETE CAN GENERATE EXPOSURE OF REPAIRABLE SILICA DUST. ENGINEERING CONTROLS AND WORK METHODS SHALL BE IN PLACE TO MINIMIZE POTENTIAL EXPOSURES.
- THE CONTRACTOR SHALL IMPLEMENT WORK PRACTICES AND CONTROLS THAT PROTECT BUILDING OCCUPANTS AND VISITORS FROM EXPOSURES TO SILICA DUSTS GENERATED FROM PROJECT ACTIVITIES, AND THAT PREVENT SURFACE CONTAMINATION OUTSIDE OF THE WORK AREAS. THE CONTRACTOR SHALL UTILIZE APPROPRIATE DUST CONTROLS DURING DEMOLITION TO REDUCE AIRBORNE DUST INCLUDING WET METHODS AND THE USE OF HEPA-FILTERED LOCAL VENTILATION AS NEEDED TO MAINTAIN THE WORK AREA UNDER NEGATIVE PRESSURE. HEPA-FILTERED VENTILATION SHALL BE EXHAUSTED TO THE BUILDING EXTERIOR. NEGATIVE PRESSURE SHALL BE VERIFIED AND DOCUMENTED AT LEAST TWICE DAILY BY THE CONTRACTOR USING AIR CURRENT TUBES.
- FOR HIGH DUST ACTIVITIES SUCH AS SANDING, CONTRACTOR SHALL USE WET METHODS AND/OR TOOL EQUIPPED LOCAL EXHAUST TO SUPPRESS DUST AT THE SOURCE.

- #### General Asbestos Notes
- PRIOR TO REMOVALS, REFER TO THE SEPTEMBER 22<sup>ND</sup>, 2020 ASBESTOS BULK SAMPLE ANALYSIS REPORT BY PARADIGM ENVIRONMENTAL, LLC.
  - PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL RULES, REGULATIONS, AND GUIDELINES, VARIANCES AND THE CONTRACT DOCUMENTS.
  - ALL MATERIAL MEASUREMENTS AND/OR QUANTITIES AND LOCATIONS ARE APPROXIMATE. FIELD VERIFY AT THE SITE PRIOR TO BIDDING.
  - THE PROVISIONS OF ANY SITE-SPECIFIC VARIANCE(S) OBTAINED BY THE CONTRACTOR MAY NOT BE IMPLEMENTED UNTIL APPROVAL IS GIVEN BY OWNER OR OWNER'S REPRESENTATIVE.
  - COORDINATE THE LOCATION OF ANY SITE STORAGE MATERIAL, EQUIPMENT, AND WASTE TRAILER/DUMPSTER WITH THE OWNER OR OWNER'S REPRESENTATIVE.
  - CONTRACTOR IS RESPONSIBLE FOR KEEPING THE WORK AREA IN A CLEAN AND SAFE CONDITION. CONTRACTOR SHALL ENSURE THAT UNIDENTIFIED PERSONNEL OR UNAUTHORIZED VISITORS DO NOT ENTER ACTIVE WORK AREAS AT ANY TIME.
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  - CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION TO KEEP THE WORK AREAS AND BUILDING IN A SECURE AND WATER-TIGHT CONDITION AT ALL TIMES DURING THE PERFORMANCE OF THE CONTRACT WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO ANY AREAS OF THE BUILDINGS AS A RESULT OF IMPROPER TEMPORARY PROTECTION.
  - ALL WORK STAGING, AND ACCESS SHALL BE COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE.
  - IF ADDITIONAL ASBESTOS, PCBs, OR OTHER SUSPECT MATERIALS ARE DISCOVERED AND/OR DISTURBED, CEASE OPERATIONS AND IMMEDIATELY NOTIFY OWNER OR OWNER'S REPRESENTATIVE.

#### Removals Keynote Legend

Discipline	Keynote #	Description
R	01	REMOVE EXISTING FINISH FLOOR DOWN TO CONCRETE SLAB
R	02	REMOVE ALL STOREFRONT GLAZING AND MULLIONS FOR THE EXTENT SHOWN
R	03	REMOVE EXISTING SUSPENDED CEILING AND ASSOCIATED ELECTRICAL FIXTURES
R	04	REMOVE EXISTING DOOR AND FRAME
R	05	REMOVE EXISTING PLUMBING FIXTURES
R	06	REMOVE EXISTING FLOOR MOUNTED SECURITY EQUIPMENT, COMPLETE
R	07	REMOVE EXISTING ELECTRICAL CABINET
R	10	REMOVE ALL COUNTERTOPS AND ASSOCIATED CABINETS
R	15	SALVAGE AND REUSE EXISTING FIRE EXTINGUISHER CABINET

ALL DEMO INDICATED IN PLAN BY LANDLORD

ALL DEMO INDICATED IN PLAN BY LANDLORD

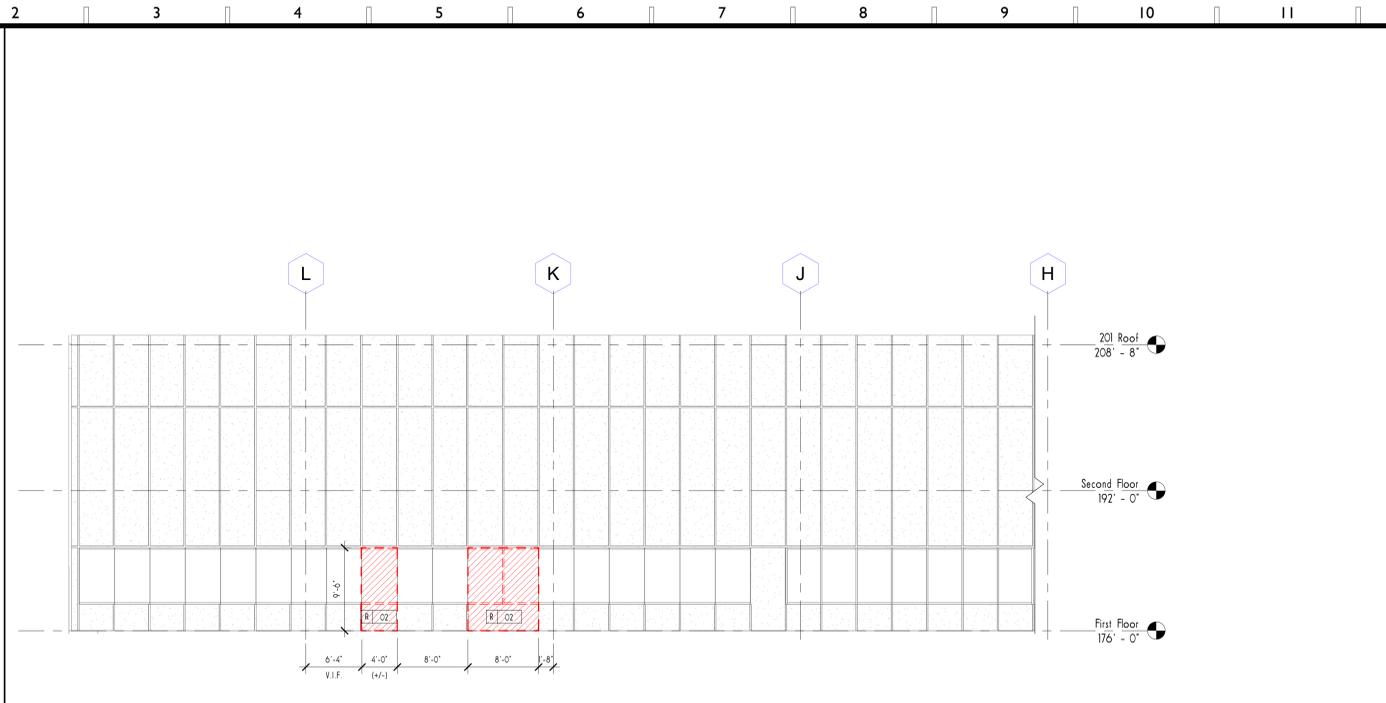
ALL DEMO INDICATED IN PLAN BY LANDLORD

## I First Floor - Partial South Removal Plan

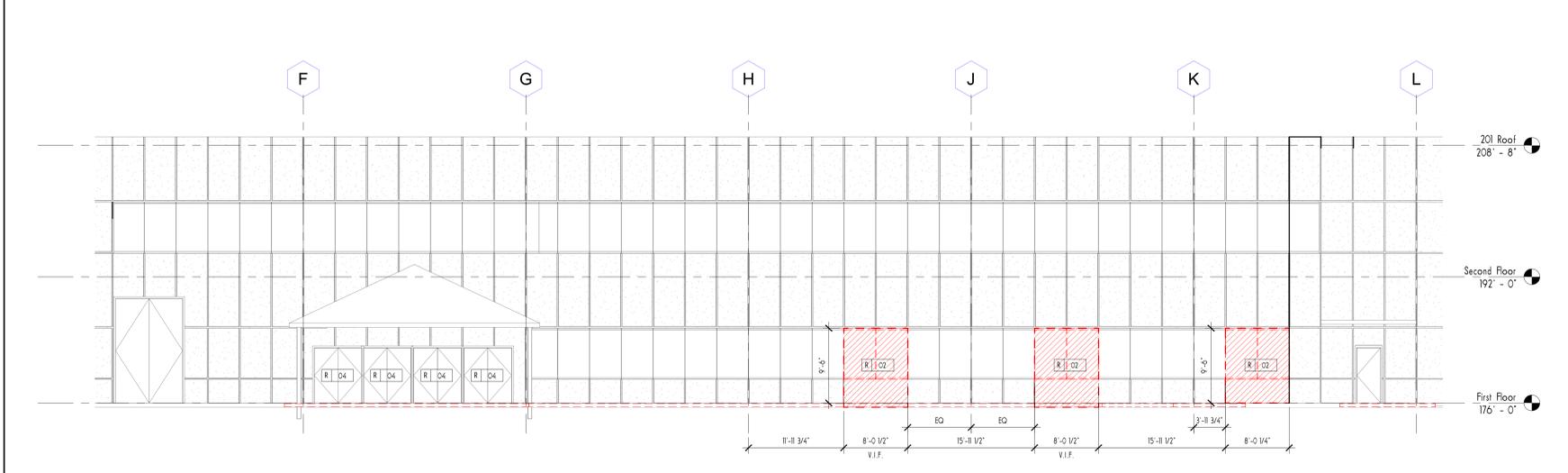
1/8" = 1'-0" A201

<p>SYVERTSEN RIGOSU ARCHITECTS</p> <p>614 Chelsea Place        Cortlandtville, NY 12044        T: 518.248.1110        www.sraaio.com</p>	<p>Revision Schedule</p> <table border="1"> <thead> <tr> <th>#</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	#	Description	Date				<p>SCALE As indicated</p> <p>ISSUED FOR REVIEW DATE 05.05.2021</p>	<p>PROJECT INFORMATION</p> <p>The Farm Bridge        The Farm Bridge Tenant Fit Up        101 Enterprise Drive, Building 201        Kingston, NY 12401</p>	<p>First Floor Removals Plan - Partial South</p> <p>SHEET TITLE</p> <h1>ARI02</h1> <p>SHEET NUMBER</p> <p>© 2021 SYVERTSEN RIGOSU ARCHITECTS, PLLC (SRA)</p>
	#	Description	Date							
<p>ITEMS DELINEATED IN THIS SET OF PLANS ARE PROPRIETARY OF SYVERTSEN RIGOSU ARCHITECTS, PLLC (SRA). UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF SUCH CONSTRUCTION OR BUILDING BEING SEIZED AND RAZED.</p>	<p>CONSULTANT</p>	<p>STAMP</p>	<p>907 20 002</p>	<p>PROJECT INFORMATION</p>						

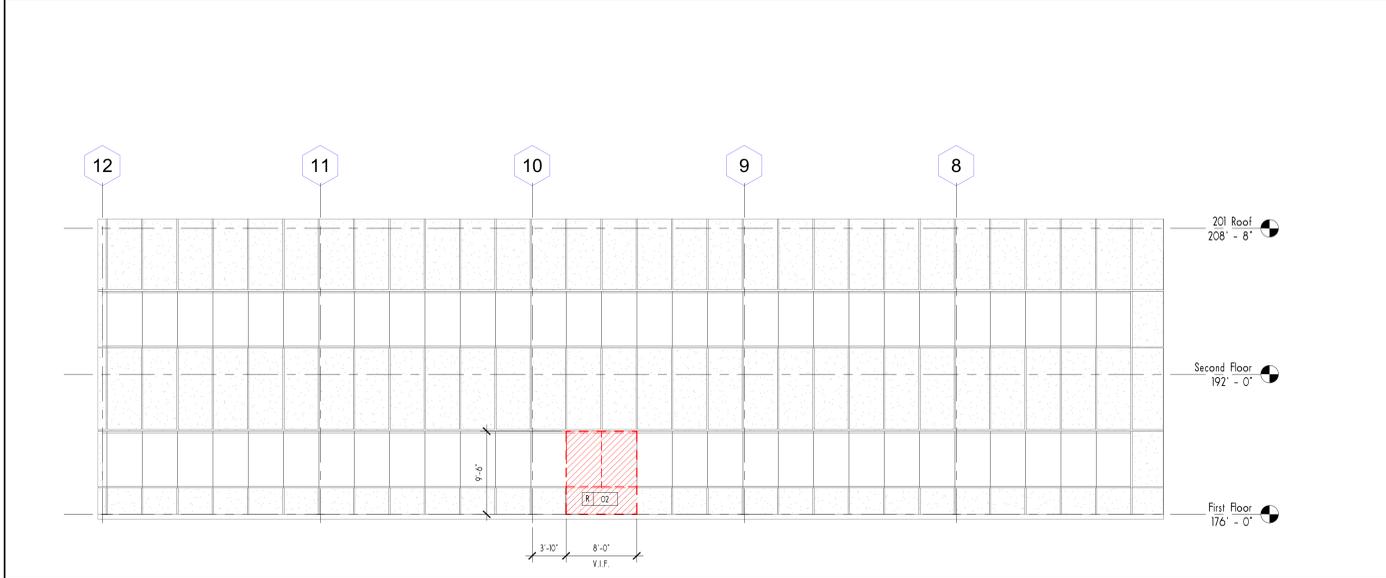
5/17/2021 13:56 PM  
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**3 Removals - East Elevation**  
1/8" = 1'-0" ARI00



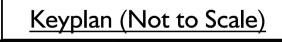
**2 Removals - West Elevation**  
1/8" = 1'-0" ARI00



**1 Removals - South Elevation**  
1/8" = 1'-0" A101

**Removals Legend**

	REMOVE EXISTING WALL COMPLETE		KEYNOTE REFER TO KEYNOTE LEGEND) COMPLETE
	REMOVE EXISTING WINDOW, SEE REMOVAL ELEVATIONS FOR MORE INFO) COMPLETE		REMOVE WALL TYPE (SEE A001) COMPLETE
	REMOVE EXISTING DOOR, FRAME AND ACCESSORIES COMPLETE		REMOVE EXISTING FLOOR OR ROOF AREA COMPLETE
	REMOVE EXISTING SINK AND ACCESSORIES COMPLETE (MIRROR, SOAP DISPENSER, ETC.) COMPLETE		REMOVE EXISTING MOP SINK AND ACCESSORIES COMPLETE
	REMOVE EXISTING TOILET AND ACCESSORIES COMPLETE		REMOVE EXISTING DRINKING FOUNTAIN AND ACCESSORIES COMPLETE
	REMOVE EXISTING URINAL AND ACCESSORIES COMPLETE		



- General Demolition Notes**
- D1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS PRIOR TO PERFORMING ANY WORK IN QUESTION.
  - D2. ALL DEMOLITION WORK SHALL BE DONE NEATLY AND WITHOUT DAMAGE TO REMAINING CONSTRUCTION. THE AREA SHALL BE CLEAR OF ALL DEBRIS, FLOOR COVERING AND RESIDUAL ADHESIVE, MORTAR BED, ETC. AND LEFT CLEAR.
  - D3. THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION ITEMS TO REMAIN DURING DEMOLITION. NOTIFY ARCHITECT/BUILDING MANAGEMENT IF ANY ITEMS ARE DAMAGED.
  - D4. WHERE WORK CONNECTS WITH EXISTING, THE CONTRACTOR SHALL DO NECESSARY CUTTING, FITTING AND PATCHING. HE SHALL FURNISH ALL NECESSARY LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK AND PROTECT ALL EXISTING WORK FROM DAMAGE.
  - D5. PROVIDE TRASH REMOVAL AND DUMPSTER CONTAINER FOR DEMOLITION DEBRIS ONLY. REMOVE ALL DEBRIS FROM BUILDING DAILY. COORDINATE EXACT PROCEDURES AND SCHEDULING WITH BUILDING MANAGEMENT.
  - D6. THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF BASE BLDG. FIRE RESISTANCE RATING, REGARDLESS OF INTERIOR BUILD-OUT REQUIREMENTS. I.E. DEMISING WALLS, SHAFT ENCLOSURES, COLUMN SPACE PROTECTION, FLOOR/CEILING ASSEMBLIES, ROOF/CEILING ASSEMBLIES.
  - D7. REMOVE ABANDONED SYSTEMS (CABLING, CONTROLS, MOUNTING DEVICES, ETC.) REMOVE ELECTRIC TO J. BOX OR ELECTRICAL PANEL. SUSPEND DUCT WORK, RE-USED WIRING, AND ELECTRIC LIGHTS FROM STRUCTURE FOR POSSIBLE RE-USE. IN ACCORDANCE WITH CURRENT CODES. ANY WIRING NOT DESIGNATED FOR RE-USE IS TO BE REMOVED BY THE GENERAL CONTRACTOR OR THE RISK SYSTEMS INSTALLER. ALL SALVAGED MATERIALS ARE TO REMAIN THE PROPERTY OF THE BUILDING OWNER.
  - D8. PROVIDE DUST SCREENS WHERE DEMOLITION REQUIRES CONSTRUCTION TO BE EXPOSED TO NORMAL OPERATIONS OF THE FACILITY.
  - D9. REMOVE ALL EXISTING PIPING, WIRING, HARDWARE, ETC THAT IS MADE OBSOLETE CONSTRUCTION.
  - D10. RELOCATE AND RECONFIGURE EXISTING HEADS OF SPRINKLER SYSTEM AS NEEDED FOR NEW LAYOUT AND CODE COMPLIANCE.

**General Removal Notes - Dust Control**

THE CONTRACTOR SHALL IMPLEMENT WORK PRACTICES AND CONTROLS THAT PROTECT BUILDING OCCUPANTS AND VISITORS FROM EXPOSURES TO DUSTS AND FUMES GENERATED FROM DEMOLITION AND OTHER ACTIVITIES, AND THAT PREVENT ACCUMULATION OF SURFACE DUST OUTSIDE OF THE WORK AREAS. THE CONTRACTOR SHALL UTILIZE APPROPRIATE DUST CONTROLS DURING DEMOLITION TO REDUCE AIRBORNE DUST, INCLUDING WET METHODS AND THE USE OF HEPA-FILTERED VENTILATION AS NEEDED TO MAINTAIN THE WORK AREA UNDER NEGATIVE PRESSURE. HEPA-FILTERED VENTILATION SHALL BE EXHAUSTED TO THE BUILDING EXTERIOR. NEGATIVE PRESSURE SHALL BE VERIFIED AND DOCUMENTED AT LEAST TWICE DAILY BY THE CONTRACTOR USING AIR CURRENT TUBES.

**General Removal Notes - Lead Paint**

WORK ON THIS PROJECT MAY INVOLVE THE DISTURBANCE OF LEAD-CONTAINING PAINT. CONTRACTOR SHALL PRESUME THAT ANY PAINTED SURFACE CONTAINS LEAD. DISTURBANCE OF ANY PAINTED SURFACE TRIGGERS THE REQUIREMENTS BELOW.

- A. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS INCLUDING BUT NOT LIMITED TO 29 CFR 1926.62 LEAD IN CONSTRUCTION. THIS REQUIREMENT INCLUDES COMPLETION OF LEAD AWARENESS TRAINING AND NEGATIVE EXPOSURE ASSESSMENTS AS NECESSARY FOR TASKS WHERE EXPOSURE MAY EXIST. OSHA REGULATIONS APPLY TO MATERIALS CONTAINING ANY DETECTABLE CONCENTRATION OF LEAD.
- B. WORK AREA SURFACES THAT MAY BE EXPOSED TO AND CONTAMINATED WITH LEAD-CONTAINING DUSTS AND FUMES SHALL BE CLEANED OF VISIBLE DUST AND DEBRIS AT THE CONCLUSION OF DEMOLITION TASKS USING WET CLEANING METHODS.

**General Removal Notes - Silica Requirements**

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 614 Chelsea Place 6th Floor New York, NY 10011 T: 212 348 1111 www.sraarch.com	Revision Schedule # Description Date _____ _____ _____	SCALE As indicated DRAWN BY JJ ISSUED FOR REVIEW DATE 05.05.2021	The Farm Bridge The Farm Bridge Tenant Fit Up 101 Enterprise Drive, Building 201 Kingston, NY 12401	Elevation Removals SHEET TITLE <b>AR201</b> SHEET NUMBER © 2021 SYVERTSEN RIGOSU ARCHITECTS, PLLC (SRA)
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