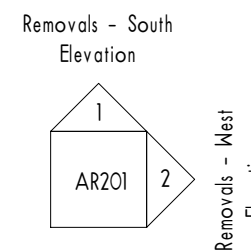











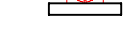
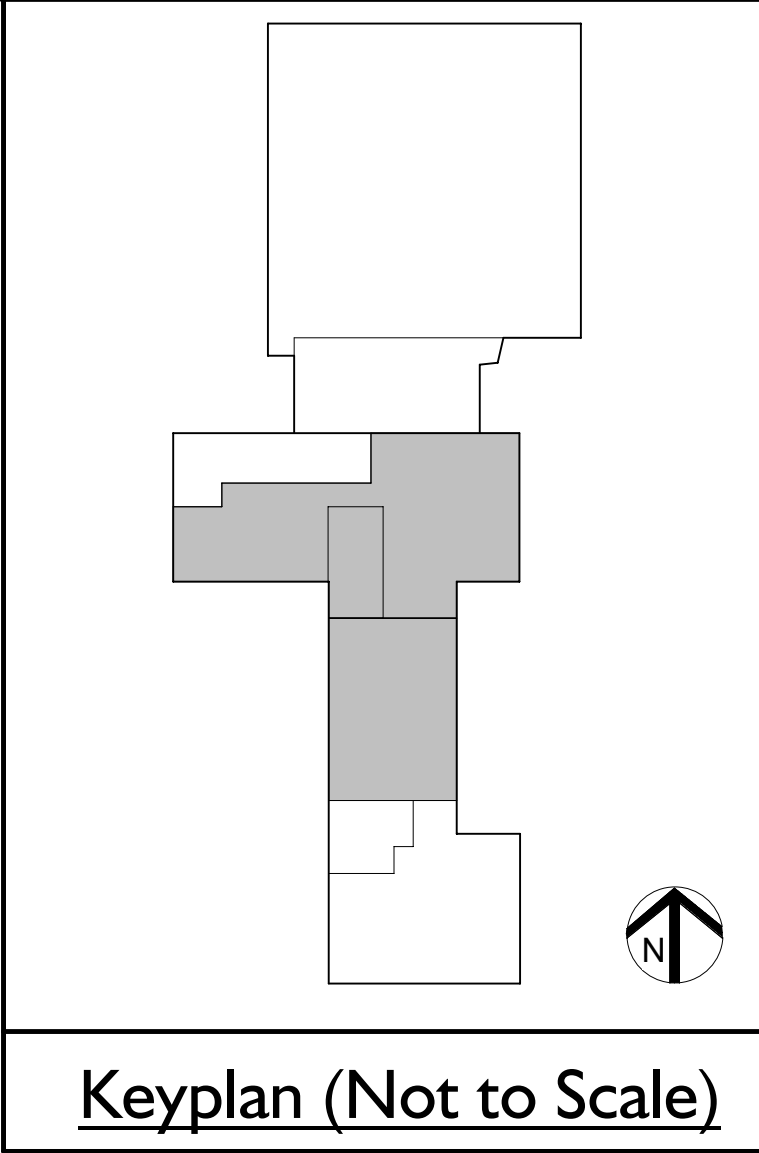


C:\Users\Erica\OneDrive\Documents\2021\The Farm Bridge II\Drawings\2021.rvt 5/17/2021 1:34:53 PM

FOR REFERENCE ONLY



Removals Legend			
	REMOVE EXISTING WALL COMPLETE SEE REMOVAL ELEVATIONS FOR MORE INFO. COMPLETE		KEYNOTE (REFER TO KEYNOTE LEGEND) COMPLETE
	REMOVE EXISTING WINDOW SEE REMOVAL ELEVATIONS FOR MORE INFO. COMPLETE		REMOVAL WALL TYPE (SEE A201) COMPLETE
	REMOVE EXISTING DOOR, FRAME, AND ACCESSORIES COMPLETE		REMOVAL EXISTING FLOOR OR ROOF AREA COMPLETE
	REMOVE EXISTING SINK AND ACCESSORIES COMPLETE (MIRROR, SOAP DISPENSER, ETC.) COMPLETE		REMOVAL EXISTING MOP SINK AND ACCESSORIES COMPLETE
	REMOVE EXISTING SINK AND ACCESSORIES COMPLETE		REMOVAL EXISTING DRINKING FOUNTAIN AND ACCESSORIES COMPLETE
	REMOVE EXISTING TOILET AND ACCESSORIES COMPLETE		
	REMOVE EXISTING URINAL AND ACCESSORIES COMPLETE		



General Demolition Notes	
D1.	CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS PRIOR TO PERFORMING ANY WORK IN QUESTION.
D2.	ALL DEMOLITION WORK SHALL BE DONE NEATLY AND WITHOUT DAMAGE TO REMAINING CONSTRUCTION. THE AREA SHALL BE CLEAR OF ALL DEBRIS, FLOOR COVERING AND RESIDUAL ADHESIVE, MORTAR BED, ETC. AND LEFT CLEAR.
D3.	THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION ITEMS TO REMAIN DURING DEMOLITION. NOTIFY ARCHITECT/BUILDING MANAGEMENT IF ANY ITEMS ARE DAMAGED.
D4.	WHERE WORK CONNECTS WITH EXISTING, THE CONTRACTOR SHALL DO NECESSARY CUTTING, FITTING AND PATCHING. HE SHALL FURNISH ALL NECESSARY LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK AND PROTECT ALL EXISTING WORK FROM DAMAGE.
D5.	PROVIDE TRASH REMOVAL AND DUMPSTER CONTAINER FOR DEMOLITION DEBRIS ONLY. REMOVE ALL DEBRIS FROM BUILDING DAILY, COORDINATE EJECT PROCEDURES AND STAGING WITH BUILDING MANAGEMENT.
D6.	THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF BASE BLDG. FIRE RESISTANCE RATING, REGARDLESS OF INTERIOR BUILD-OUT REQUIREMENTS, I.E. DEMISING WALLS, SHAFT ENCLOSURES, COLUMN SPACE PROTECTION, FLOOR/CEILING ASSEMBLIES, ROOF/CEILING ASSEMBLIES.
D7.	REMOVE ABANDONED SYSTEMS (CABLING, CONTROLS, MOUNTING DEVICES, ETC.) REMOVE ELECTRIC TO J. BOX OR ELECTRICAL PANEL, SUSPEND DUCT WORK, RE-USED WIRING, AND ELECTRIC LIGHTS FROM STRUCTURE FOR POSSIBLE RE-USE. IN ACCORDANCE WITH CURRENT CODES, ANY WIRING NOT DESIGNATED FOR RE-USE IS TO BE REMOVED BY THE GENERAL CONTRACTOR OR THE NEW SYSTEMS INSTALLER. ALL SALVAGED MATERIALS ARE TO REMAIN THE PROPERTY OF THE BUILDING OWNER.
D8.	PROVIDE DUST SCREENS WHERE DEMOLITION REQUIRES CONSTRUCTION TO BE EXPOSED TO NORMAL OPERATIONS OF THE FACILITY.
D9.	REMOVE ALL EXISTING PIPING, WIRING, HARDWARE, ETC THAT IS MADE OBSOLETE CONSTRUCTION.
D10.	RELOCATE AND RECONFIGURE EXISTING HEADS OF SPRINKLER SYSTEM AS NEEDED FOR NEW LAYOUT AND CODE COMPLIANCE.

General Removal Notes - Dust Control	
THE CONTRACTOR SHALL IMPLEMENT WORK PRACTICES AND CONTROLS THAT PROTECT BUILDING OCCUPANTS AND VISITORS FROM EXPOSURES TO DUSTS AND FUMES GENERATED FROM DEMOLITION AND OTHER ACTIVITIES, AND THAT PREVENT ACCUMULATION OF EXISTING SURFACE DUST OUTSIDE OF THE WORK AREAS. THE CONTRACTOR SHALL UTILIZE APPROPRIATE DUST CONTROLS DURING DEMOLITION TO REDUCE AIRBORNE DUST, INCLUDING WET METHODS AND THE USE OF HEPA-FILTERED VENTILATION AS NEEDED TO MAINTAIN THE WORK AREA UNDER NEGATIVE PRESSURE. HEPA-FILTERED VENTILATION SHALL BE EXHAUSTED TO THE BUILDING EXTERIOR. NEGATIVE PRESSURE SHALL BE VERIFIED AND DOCUMENTED AT LEAST TWICE DAILY BY THE CONTRACTOR USING AIR CURRENT TUBES.	

General Removal Notes - Lead Paint	
WORK ON THIS PROJECT MAY INVOLVE THE DISTURBANCE OF LEAD-CONTAINING PAINT. CONTRACTOR SHALL PRESUME THAT ANY PAINTED SURFACE CONTAINS LEAD. DISTURBANCE OF ANY PAINTED SURFACE TRIGGERS THE REQUIREMENTS BELOW.	
A.	THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS INCLUDING BUT NOT LIMITED TO 29 CFR 1926.62 LEAD IN CONSTRUCTION. THIS REQUIREMENT INCLUDES COMPLETION OF LEAD AWARENESS TRAINING AND NEGATIVE EXPOSURE ASSESSMENTS AS NECESSARY FOR TASKS WHERE EXPOSURE MAY EXIST. OSHA REGULATIONS APPLY TO MATERIALS CONTAINING ANY DETECTABLE CONCENTRATION OF LEAD.
B.	WORK AREA SURFACES THAT MAY BE EXPOSED TO AND CONTAMINATED WITH LEAD-CONTAINING DUSTS AND FUMES SHALL BE CLEANED OF VISIBLE DUST AND DEBRIS AT THE CONCLUSION OF DEMOLITION TASKS USING WET CLEANING METHODS.

General Removal Notes - Silica Requirements	
OPERATIONS INVOLVING CUTTING, DRILLING OR DEMOLITION OF CONCRETE CAN GENERATE EXPOSURE OF REPAIRABLE SILICA DUST. ENGINEERING CONTROLS AND WORK METHODS SHALL BE IN PLACE TO MINIMIZE POTENTIAL EXPOSURES.	
THE CONTRACTOR SHALL IMPLEMENT WORK PRACTICES AND CONTROLS THAT PROTECT BUILDING OCCUPANTS AND VISITORS FROM EXPOSURES TO SILICA DUSTS GENERATED FROM PROJECT ACTIVITIES, AND THAT PREVENT SURFACE CONTAMINATION OUTSIDE OF THE WORK AREAS. THE CONTRACTOR SHALL UTILIZE APPROPRIATE DUST CONTROLS DURING DEMOLITION TO REDUCE AIRBORNE DUST INCLUDING WET METHODS AND THE USE OF HEPA-FILTERED LOCAL VENTILATION AS NEEDED TO MAINTAIN THE WORK AREA UNDER NEGATIVE PRESSURE. HEPA-FILTERED VENTILATION SHALL BE EXHAUSTED TO THE BUILDING EXTERIOR. NEGATIVE PRESSURE SHALL BE VERIFIED AND DOCUMENTED AT LEAST TWICE DAILY BY THE CONTRACTOR USING AIR CURRENT TUBES.	
FOR HIGH DUST ACTIVITIES SUCH AS SAWING, CONTRACTOR SHALL USE WET METHODS AND OR TOOL EQUIPPED LOCAL EXHAUST TO SUPPRESS DUST AT THE SOURCE.	

General Asbestos Notes	
A.	PRIOR TO REMOVALS, REFER TO THE SEPTEMBER 22 ND , 2020 ASBESTOS BULK SAMPLE ANALYSIS REPORT BY PARADIGM ENVIRONMENTAL, LLC.
B.	PERFORM ALL WORK IN ACCORDANCE ALL APPLICABLE LOCAL, STATE, AND FEDERAL RULES, REGULATIONS, AND GUIDELINES, VARIANCES AND THE CONTRACT DOCUMENTS.
C.	ALL MATERIAL MEASUREMENTS AND/OR QUANTITIES AND LOCATIONS ARE APPROXIMATE. FIELD VERIFY AT THE SITE PRIOR TO BIDDING.
D.	THE PROVISIONS OF ANY SITE-SPECIFIC VARIANCE(S) OBTAINED BY THE CONTRACTOR MAY NOT BE IMPLEMENTED UNTIL APPROVAL IS GIVEN BY OWNER OR OWNER'S REPRESENTATIVE.
E.	COORDINATE THE LOCATION OF ANY SITE STORAGE MATERIAL, EQUIPMENT, AND WASTE TRAILER/DUMPSTER WITH THE OWNER OR OWNER'S REPRESENTATIVE.
F.	CONTRACTOR IS RESPONSIBLE ALL TOOLS, EQUIPMENT, AND SUPPLIES. THE OWNER OR OWNER'S REPRESENTATIVE WILL NOT BE LIABLE THEFT OR DAMAGE.
G.	CONTRACTOR IS RESPONSIBLE FOR KEEPING THE WORK AREA IN A CLEAN AND SAFE CONDITION. CONTRACTOR SHALL ENSURE THAT UNIDENTIFIED PERSONNEL OR UNAUTHORIZED VISITORS DO NOT ENTER ACTIVE WORK AREAS AT ANY TIME.
H.	CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION TO KEEP THE WORK AREAS AND BUILDING IN A SECURE AND WATERIGHT CONDITION AT ALL TIMES DURING THE PERFORMANCE OF THE CONTRACT WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO ANY AREAS OF THE BUILDINGS AS A RESULT OF IMPROPER TEMPORARY PROTECTION.
I.	ALL WORK STAGING, AND ACCESS SHALL BE COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE.
J.	IF ADDITIONAL ASBESTOS, PCBs, OR OTHER SUSPECT MATERIALS ARE DISCOVERED AND/OR DISTURBED, CEASE OPERATIONS AND IMMEDIATELY NOTIFY OWNER OR OWNER'S REPRESENTATIVE.

Removals Keynote Legend		
Discipline	Keynote #	Description
R	01	REMOVE EXISTING FINISH FLOOR DOWN TO CONCRETE SLAB
R	02	REMOVE ALL STOREFRONT GLAZING AND MULLIONS FOR THE EXTENT SHOWN.
R	03	REMOVE EXISTING SUSPENDED CEILING AND ASSOCIATED ELECTRICAL FIXTURES.
R	04	REMOVE EXISTING DOOR AND FRAME.
R	05	REMOVE EXISTING PLUMBING FIXTURES.
R	06	REMOVE EXISTING FLOOR MOUNTED SECURITY EQUIPMENT, COMPLETE.
R	07	REMOVE EXISTING ELECTRICAL CLOSET.
R	10	REMOVE ALL COUNTERTOPS AND ASSOCIATED CABINWORK.
R	15	SALVAGE AND REUSE EXISTING FIRE EXTINGUISHER CABINET.

I

First Floor - Slab Removal Plan

3/32" = 1'-0"

A201

Revision Schedule		
#	Description	Date

ITEMS DELINEATED IN THIS SET OF PLANS ARE PROPRIETARY OF SYVERTSEN RIGOSU ARCHITECTS, PLLC (SRA). UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF SUCH CONSTRUCTION OR BUILDING BEING SEIZED AND RAZED.

SCALE		As Indicated
DRAWN BY		II
ISSUED FOR		Review
DATE		05.05.2021
907 20 002		

STAMP

ARCHITECT

The Farm Bridge

The Farm Bridge Tenant Fit Up

101 Enterprise Drive, Building 201
Kingston, NY 12401

SHEET TITLE

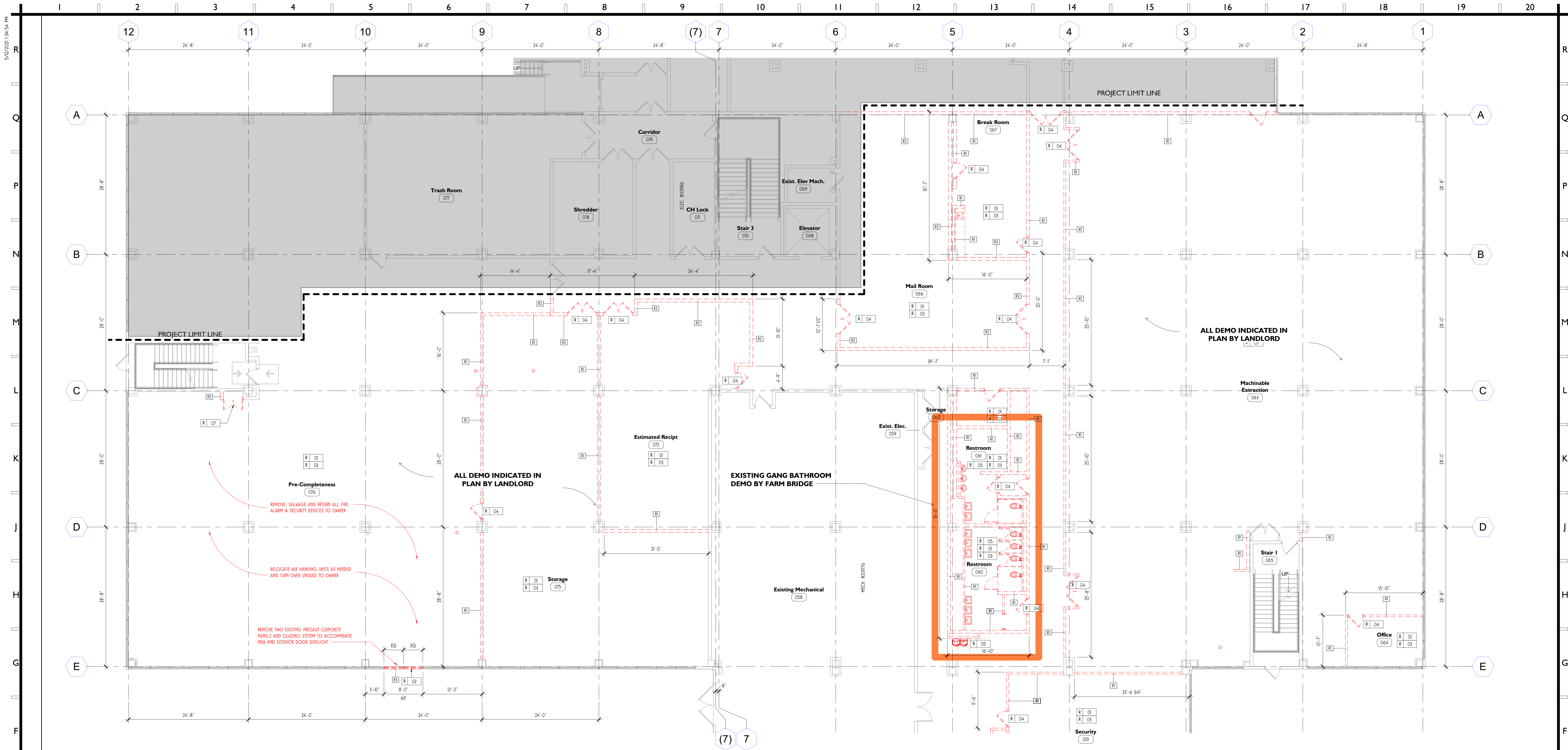
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SHEET NUMBER

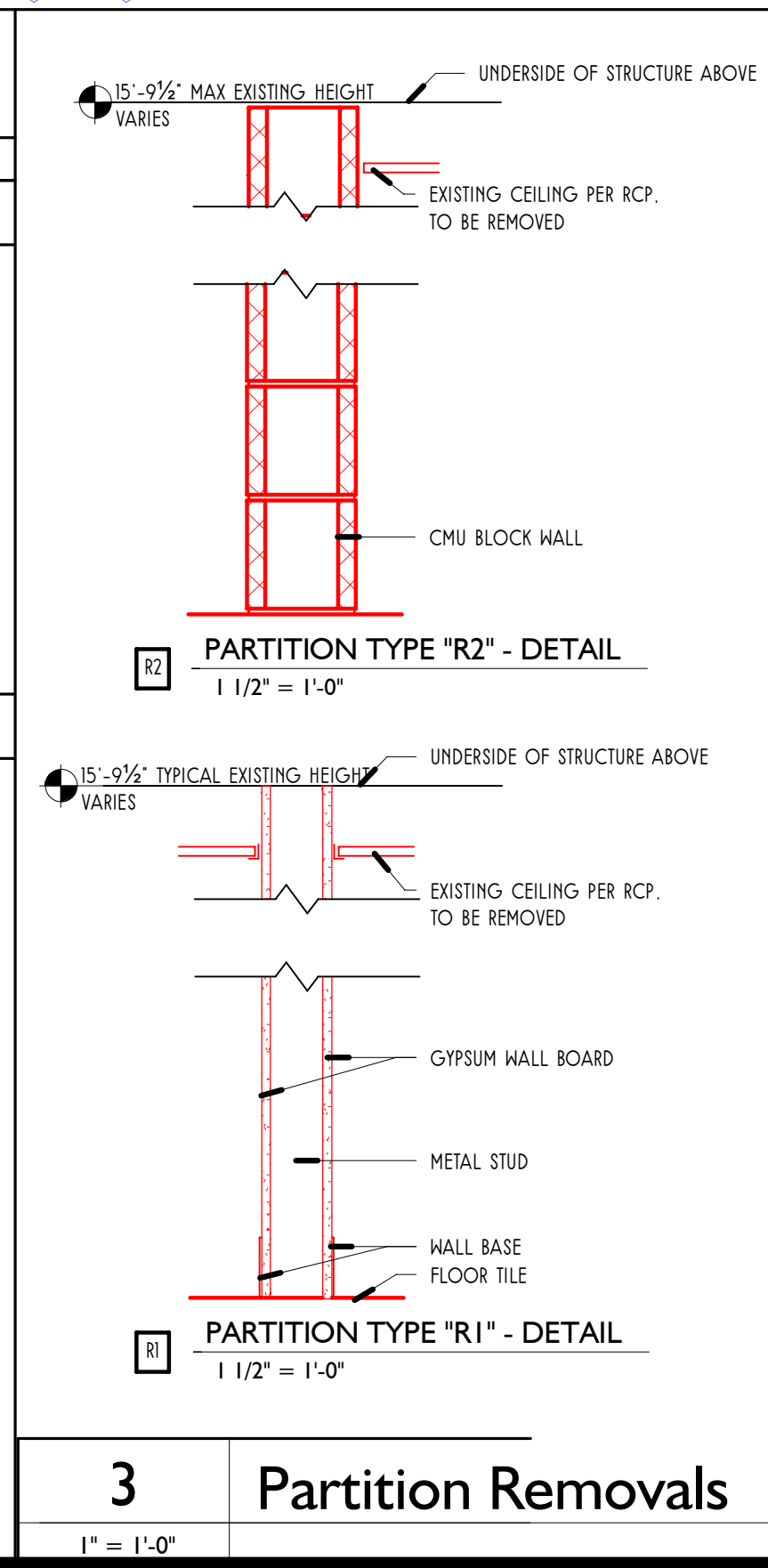
PROJECT INFORMATION

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










Slab and Elevation Removals	
SHEET TITLE	
ARI00	
SHEET NUMBER	
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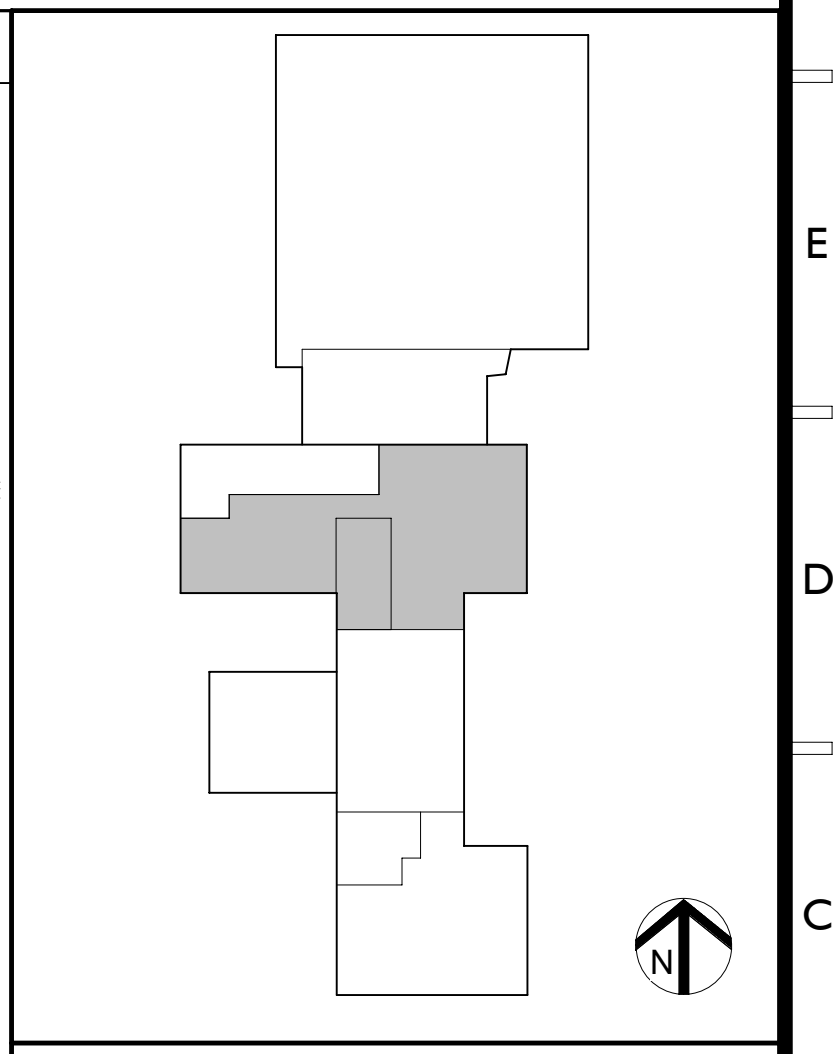


I First Floor Removal Plan - Partial North
1/8" = 1'-0" A201



Removals Keynote Legend		
Discipline	Keynote #	Description
R	01	REMOVE EXISTING FINISH FLOOR DOWN TO CONCRETE SLAB
R	02	REMOVE ALL STOREFRONT GLAZING AND MULLIONS FOR THE EXTENT SHOWN
R	03	REMOVE EXISTING SUSPENDED CEILING AND ASSOCIATED ELECTRICAL FIXTURES
R	04	REMOVE EXISTING DOOR AND FRAME
R	05	REMOVE EXISTING PLUMBING FIXTURES
R	06	REMOVE EXISTING FLOOR MOUNTED SECURITY EQUIPMENT, COMPLETE
R	07	REMOVE EXISTING ELECTRICAL CLOSET
R	10	REMOVE ALL COUNTERTOPS AND ASSOCIATED CASWORK
R	15	SALVAGE AND REUSE EXISTING FIRE EXTINGUISHER CABINET

Removals Legend			
	REMOVE EXISTING HALL COMPLETE		KEYNOTE (REFER TO KEYNOTE LEGEND) COMPLETE
	REMOVE EXISTING WINDOW. SEE REMOVAL ELEVATIONS FOR MORE INFO. COMPLETE		REMOVE HALL TYPE (SEE A201) COMPLETE
	REMOVE EXISTING DOOR, FRAME, AND ACCESSORIES COMPLETE		REMOVE EXISTING FLOOR OR ROOF AREA COMPLETE
	REMOVE EXISTING SINK AND ACCESSORIES COMPLETE (MIRROR, SOAP DISPENSER, ETC.) COMPLETE		REMOVE EXISTING MOP SINK AND ACCESSORIES COMPLETE
	REMOVE EXISTING SINK AND ACCESSORIES COMPLETE		REMOVE EXISTING DRINKING FOUNTAIN AND ACCESSORIES COMPLETE
	REMOVE EXISTING TOILET AND ACCESSORIES COMPLETE		
	REMOVE EXISTING URINAL AND ACCESSORIES COMPLETE		



General Demolition Notes		General Asbestos Notes		General Removal Notes - Lead Paint	
D1.	CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS PRIOR TO PERFORMING ANY WORK IN QUESTION.	A.	PRIOR TO REMOVALS, REFER TO THE SEPTEMBER 22ND, 2020 ASBESTOS BULK SAMPLE ANALYSIS REPORT BY PARADIGM ENVIRONMENTAL, LLC.	<div>WORK ON THIS PROJECT MAY INVOLVE THE DISTURBANCE OF LEAD-CONTAINING PAINT. CONTRACTOR SHALL PRESUME THAT ANY PAINTED SURFACE CONTAINS LEAD. DISTURBANCE OF ANY PAINTED SURFACE TRIGGERS THE REQUIREMENTS BELOW:</div> <div><div>A.</div><div>THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS INCLUDING BUT NOT LIMITED TO 29 CFR 1926.62 LEAD IN CONSTRUCTION. THIS REQUIREMENT INCLUDES COMPLETION OF LEAD AWARENESS TRAINING AND NEGATIVE EXPOSURE ASSESSMENTS AS NECESSARY FOR TASKS WHERE EXPOSURE MAY EXIST. OSHA REGULATIONS APPLY TO MATERIALS CONTAINING ANY DETECTABLE CONCENTRATION OF LEAD.</div><div>8.</div><div>WORK AREA SURFACES THAT MAY BE EXPOSED TO AND CONTAMINATED WITH LEAD-CONTAINING DUSTS AND FUMES SHALL BE CLEANED OF VISIBLE DUST AND DEBRIS AT THE CONCLUSION OF DEMOLITION TASKS USING WET CLEANING METHODS.</div></div>	
D2.	ALL DEMOLITION WORK SHALL BE DONE NEATLY AND WITHOUT DAMAGE TO REMAINING CONSTRUCTION. THE AREA SHALL BE CLEAR OF ALL DEBRIS, FLOOR COVERING AND RESIDUAL ADHESIVE, MORTAR BED, ETC. AND LEFT CLEAN.	B.	PERFORM ALL WORK IN ACCORDANCE ALL APPLICABLE LOCAL, STATE, AND FEDERAL RULES, REGULATIONS, AND GUIDELINES, VARIANCES AND THE CONTRACT DOCUMENTS.		
D3.	THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION ITEMS TO REMAIN DURING DEMOLITION. NOTIFY ARCHITECT/BUILDING MANAGEMENT IF ANY ITEMS ARE DAMAGED.	D.	ALL MATERIAL MEASUREMENTS AND/OR QUANTITIES AND LOCATIONS ARE APPROXIMATE. FIELD VERIFY AT THE SITE PRIOR TO BIDDING.		
D4.	WHERE WORK CONNECTS WITH EXISTING, THE CONTRACTOR SHALL DO NECESSARY CUTTING, FITTING AND PATCHING. HE SHALL FURNISH ALL NECESSARY LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK AND PROTECT ALL EXISTING WORK FROM DAMAGE.	D.	THE PROVISIONS OF ANY SITE-SPECIFIC VARIANCE(S) OBTAINED BY THE CONTRACTOR MAY NOT BE IMPLEMENTED UNTIL APPROVAL IS GIVEN BY OWNER OR OWNER'S REPRESENTATIVE.		
D5.	PROVIDE TRASH REMOVAL AND DUMPSTER CONTAINERS FOR DEMOLITION DEBRIS ONLY. REMOVE ALL DEBRIS FROM BUILDING DAILY. COORDINATE EXACT PROCEDURES AND STAGING WITH BUILDING MANAGEMENT.	E.	COORDINATE THE LOCATION OF ANY SITE STORAGE MATERIAL, EQUIPMENT, AND WASTE TRAILER/DUMPSTER WITH THE OWNER OR OWNER'S REPRESENTATIVE.	<div>General Removal Notes - Silica Requirements</div> <div>OPERATIONS INVOLVING CUTTING, DRILLING OR DEMOLITION OF CONCRETE CAN GENERATE EXPOSURE OF REPAIRABLE SILICA DUST. ENGINEERING CONTROLS AND WORK METHODS SHALL BE IN PLACE TO MINIMIZE POTENTIAL EXPOSURES.</div> <div>THE CONTRACTOR SHALL IMPLEMENT WORK PRACTICES AND CONTROLS THAT PROTECT BUILDING OCCUPANTS AND VISITORS FROM EXPOSURES TO SILICA DUSTS GENERATED FROM PROJECT ACTIVITIES, AND THAT PREVENT SURFACE CONTAMINATION OUTSIDE OF THE WORK AREAS. THE CONTRACTOR SHALL UTILIZE APPROPRIATE DUST CONTROLS DURING DEMOLITION TO REDUCE AIRBORNE DUST INCLUDING WET METHODS AND THE USE OF HEPA-FILTERED LOCAL VENTILATION AS NEEDED TO MAINTAIN THE WORK AREA UNDER NEGATIVE PRESSURE. HEPA-FILTERED VENTILATION SHALL BE EXHAUSTED TO THE BUILDING EXTERIOR. NEGATIVE PRESSURE SHALL BE VERIFIED AND DOCUMENTED AT LEAST TWICE DAILY BY THE CONTRACTOR USING AIR CURRENT TUBES.</div> <div>FOR HIGH DUST ACTIVITIES SUCH AS SAWING, CONTRACTOR SHALL USE WET METHODS AND OR TOOL EQUIPPED LOCAL EXHAUST TO SUPPRESS DUST AT THE SOURCE.</div>	
D6.	THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF BASE BLDG. FIRE RESISTANCE RATING, REGARDLESS OF INTERIOR BUILD-OUT REQUIREMENTS, I.E. DEMISING WALLS, SHAFT ENCLOSURES, COLUMN SPACE PROTECTION, FLOOR/CEILING ASSEMBLIES, ROOF/CEILING ASSEMBLIES.	F.	CONTRACTOR IS RESPONSIBLE ALL TOOLS, EQUIPMENT, AND SUPPLIES. THE OWNER OR OWNER'S REPRESENTATIVE WILL NOT BE LIABLE THEFT OR DAMAGE.		
D7.	REMOVE ABANDONED SYSTEMS (CABLING, CONTROLS, MOUNTING DEVICES, ETC.) REMOVE ELECTRIC TO J. BOX OR ELECTRICAL PANEL, SUSPEND DUCT WORK, RE-USED WIRING, AND ELECTRIC LIGHTS FROM STRUCTURE FOR POSSIBLE RE-USE, IN ACCORDANCE WITH CURRENT CODES. ANY WIRING NOT DESIGNATED FOR RE-USE IS TO BE REMOVED BY THE GENERAL CONTRACTOR OR THE NEB SYSTEMS INSTALLER. ALL SALVAGED MATERIALS ARE TO REMAIN THE PROPERTY OF THE BUILDING OWNER.	G.	CONTRACTOR IS RESPONSIBLE FOR KEEPING THE WORK AREA IN A CLEAN AND SAFE CONDITION. CONTRACTOR SHALL ENSURE THAT UNCERTIFIED PERSONNEL OR UNAUTHORIZED VISITORS DO NOT ENTER ACTIVE WORK AREAS AT ANY TIME.		
D8.	PROVIDE DUST SCREENS WHERE DEMOLITION REQUIRES CONSTRUCTION TO BE EXPOSED TO NORMAL OPERATIONS OF THE FACILITY.	H.	CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION TO KEEP THE WORK AREAS AND BUILDING IN A SECURE AND WATERIGHT CONDITION AT ALL TIMES DURING THE PERFORMANCE OF THE CONTRACT WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO ANY AREAS OF THE BUILDINGS AS A RESULT OF IMPROPER TEMPORARY PROTECTION.		
D9.	REMOVE ALL EXISTING PIPING, WIRING, HARDWARE, ETC THAT IS MADE OBSOLETE CONSTRUCTION.	I.	ALL WORK, STAGING, AND ACCESS SHALL BE COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE.		
D10.	RELOCATE AND RECONFIGURE EXISTING HEADS OF SPRINKLER SYSTEM AS NEEDED FOR NEW LAYOUT AND CODE COMPLIANCE.	J.	IF ADDITIONAL ASBESTOS, PCBs, OR OTHER SUSPECT MATERIALS ARE DISCOVERED AND/OR DISTURBED, CEASE OPERATIONS AND IMMEDIATELY NOTIFY OWNER OR OWNER'S REPRESENTATIVE.		
		<div>General Removal Notes - Dust Control</div> <div>THE CONTRACTOR SHALL IMPLEMENT WORK PRACTICES AND CONTROLS THAT PROTECT BUILDING OCCUPANTS AND VISITORS FROM EXPOSURES TO DUSTS AND FUMES GENERATED FROM DEMOLITION AND OTHER ACTIVITIES, AND THAT PREVENT ACCUMULATION OF VISIBLE SURFACE DUST OUTSIDE OF THE WORK AREAS. THE CONTRACTOR SHALL UTILIZE APPROPRIATE DUST CONTROLS DURING DEMOLITION TO REDUCE AIRBORNE DUST, INCLUDING WET METHODS AND THE USE OF HEPA-FILTERED VENTILATION AS NEEDED TO MAINTAIN THE WORK AREA UNDER NEGATIVE PRESSURE. HEPA-FILTERED VENTILATION SHALL BE EXHAUSTED TO THE BUILDING EXTERIOR. NEGATIVE PRESSURE SHALL BE VERIFIED AND DOCUMENTED AT LEAST TWICE DAILY BY THE CONTRACTOR USING AIR CURRENT TUBES.</div>			

STAMP

ARCHITECT

Revision Schedule

#	Description	Date

SCALE

As indicated

ISSUED FOR

Review

DATE

05.05.2021

ITEMS DELINEATED IN THIS SET OF PLANS ARE PROPRIETARY OF SYVERTSEN RIGOSU ARCHITECTS, PLLC (SRA). UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF SUCH CONSTRUCTION OR BUILDING BEING SEIZED AND RAZED.

The Farm Bridge

The Farm Bridge Tenant Fit Up

101 Enterprise Drive, Building 201
Kingston, NY 12401

PROJECT INFORMATION

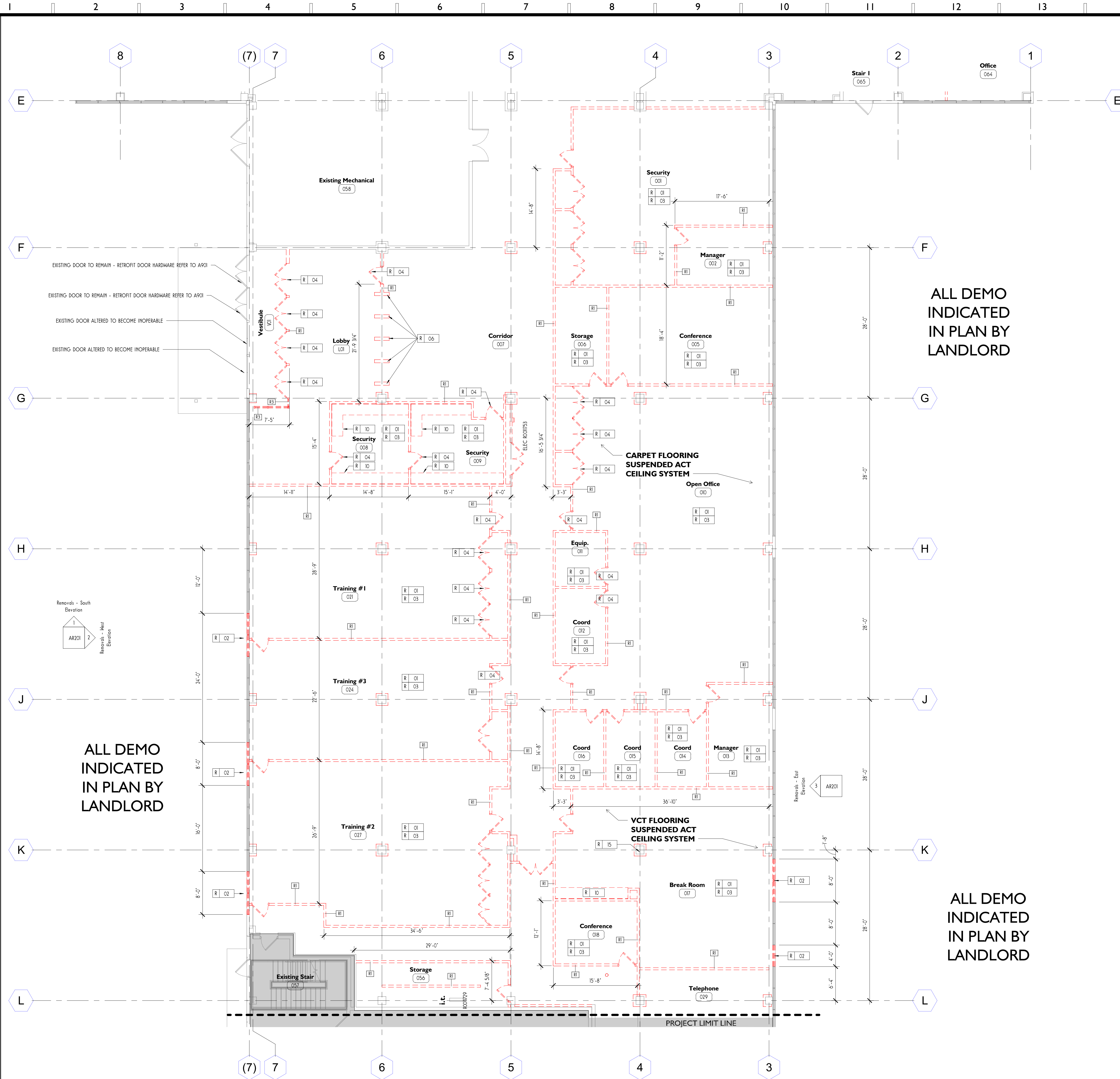
First Floor Removals Plan - Partial North

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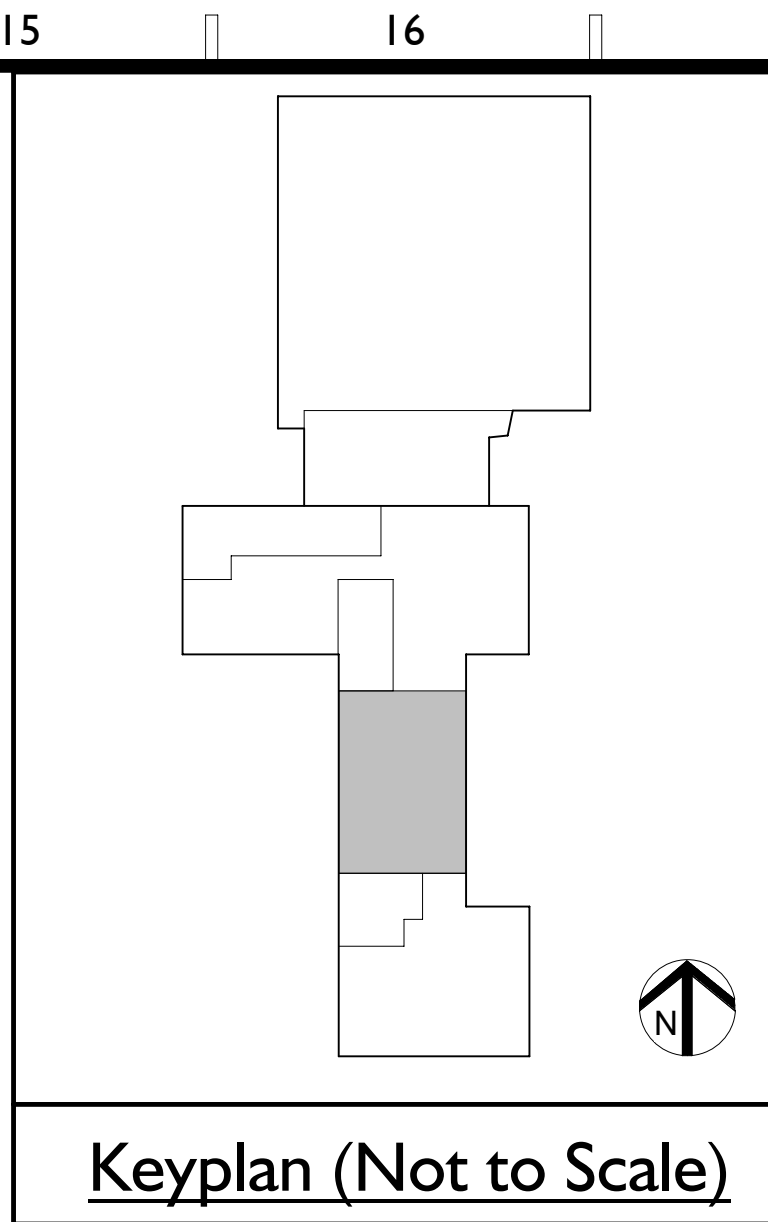
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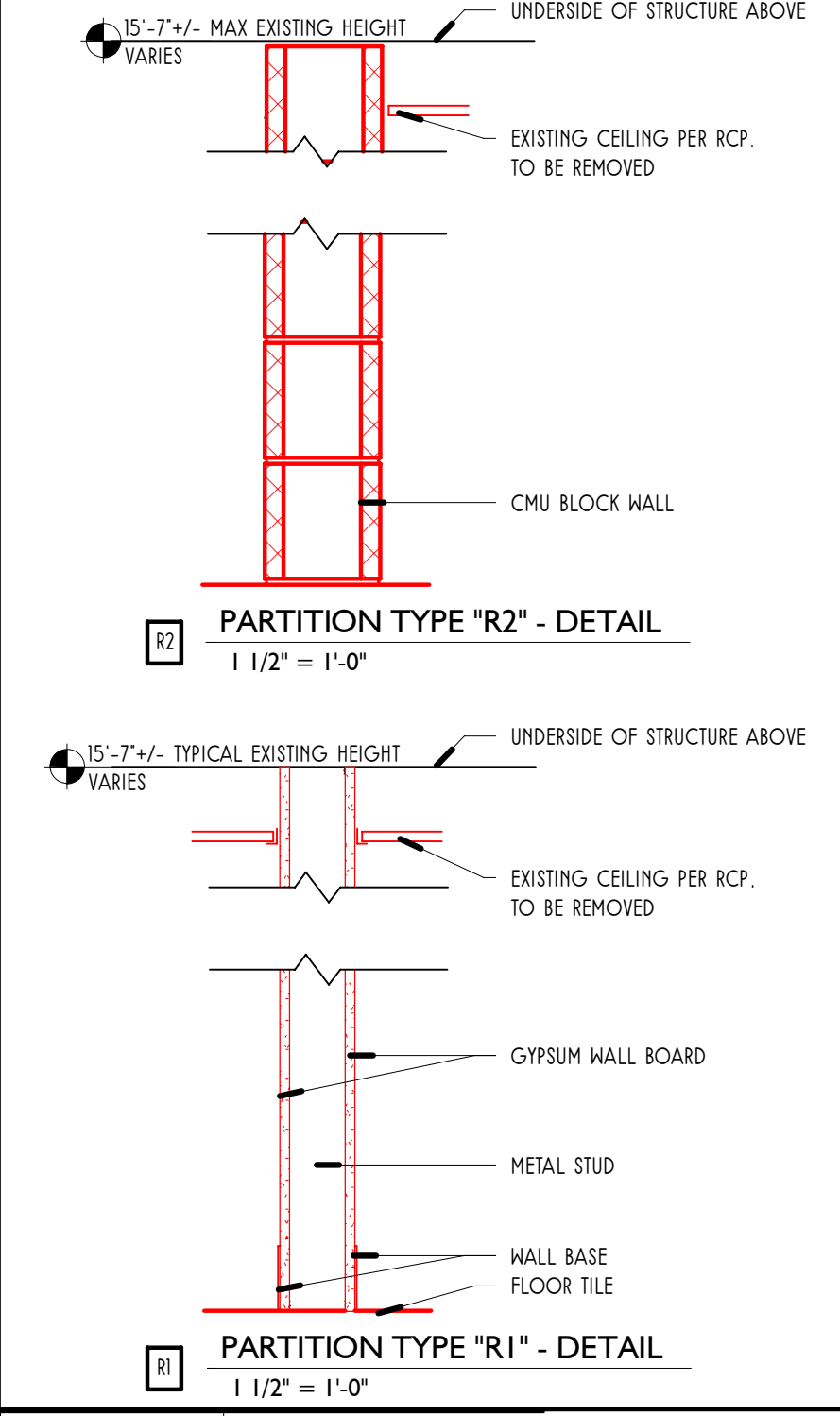
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First Floor - Partial South Removal Plan
1/8" = 1'-0" A201



EXISTING HEIGHTS TO BE VERIFIED BY CONTRACTOR
B.O. 2ND FLOOR CONC WAFFLE SLAB HIGH - 15'-9" +/-
B.O. 2ND FLOOR CONC WAFFLE SLAB LOW - 14'-8" +/-
B.O. CONC AT COLUMN GRID LINE - 13'-5" +/-



3 Partition Removals
1" = 1'-0"

Removals Legend		
	REMOVE EXISTING WALL COMPLETE	R 01
	REMOVE EXISTING WINDOW. SEE REMOVAL ELEVATIONS FOR MORE INFO. COMPLETE	R 02
	REMOVE EXISTING DOOR, FRAME, AND ACCESSORIES COMPLETE	R 03
	REMOVE EXISTING SINK AND ACCESSORIES COMPLETE	R 04
	REMOVE EXISTING TOILET AND ACCESSORIES COMPLETE	R 05
	REMOVE EXISTING URINAL AND ACCESSORIES COMPLETE	R 06
	REMOVE EXISTING FLOOR OR ROOF AREA COMPLETE	R 07
	REMOVE EXISTING MOP SINK AND ACCESSORIES COMPLETE	R 08
	REMOVE EXISTING DRINKING FOUNTAIN AND ACCESSORIES COMPLETE	R 09
	REMOVE EXISTING FINISH FLOOR DOWN TO CONCRETE SLAB	R 10
	REMOVE ALL STOREFRONT GLAZING AND MULLIONS FOR THE EXTENT SHOWN	R 11
	REMOVE EXISTING SUSPENDED CEILING AND ASSOCIATED ELECTRICAL FIXTURES	R 12
	REMOVE EXISTING DOOR AND FRAME	R 13
	REMOVE EXISTING PLUMBING FIXTURES	R 14
	REMOVE EXISTING FLOOR MOUNTED SECURITY EQUIPMENT, COMPLETE	R 15
	REMOVE EXISTING ELECTRICAL CLOSETS	R 16
	REMOVE ALL COUNTERTOPS AND ASSOCIATED CASWORK	R 17
	SALVAGE AND REUSE EXISTING FIRE EXTINGUISHER CABINET	R 18

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CONSULTANT

STAMP

ARCHITECT

Revision Schedule

#	Description	Date
1	Initial	05.05.2021
2	Revised	
3	Revised	

ITEMS DELINEATED IN THIS SET OF PLANS ARE PROPRIETARY OF SYVERTSEN RIGOSU ARCHITECTS, PLLC (SRA). UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF SUCH CONSTRUCTION OR BUILDING BEING SEIZED AND RAZED.

SCALE

As Indicated
ISSUED FOR
Review
DATE
05.05.2021

907 20 002

PROJECT INFORMATION

The Farm Bridge

The Farm Bridge Tenant Fit Up

101 Enterprise Drive, Building 201
Kingston, NY 12401

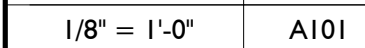
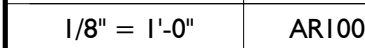
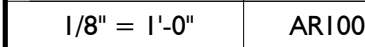
First Floor Removals
Plan - Partial South

SHEET TITLE

AR102

SHEET NUMBER

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The Farm Bridge

The Farm Bridge Tenant Fit Up

101 Enterprise Drive, Building 1
Kingston, NY 12401

Elevation Removals

SHEET TITLE

AR201

SHEET NUMBER

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